



HCC



HOUSTON COMMUNITY COLLEGE SYSTEM 2009 FACILITIES ASSESSMENT REPORT

Project No. 09-22

October 08, 2009



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In Association With:
Johnston, LLC
Knudson and Associates
Van De Wiele Engineering, Inc.

FINAL REPORT





October 8, 2009

Dr. Art Tyler
Deputy Chancellor and COO
Houston Community College
3100 Main
Houston, Texas 77002

**FACILITIES CONDITION ASSESSMENT REPORT
HOUSTON COMMUNITY COLLEGE
ESPA CORP Project # 5275-001**

Dear Dr. Tyler,

ESPA CORP, Inc. (ESPA) is pleased to submit the enclosed final Assessment Report for Houston Community College's (HCC) current facilities. This study was performed pursuant to your approval by the issuance of HCC purchase order number 67809 dated June 2, 2009.

The Houston Community College (HCC) operates a system of 54 facilities encompassing approximately 4.1 million square feet. HCC has 6 system Colleges (Central, Northeast, Northwest, Southeast, Southwest, and Coleman) and 22 Campuses. The College Administration and Board of Trustees assigned the ESPA Team the task of developing an inventory and assessing the existing condition of facilities.

The Facilities Assessment Consultant Team was lead by ESPA CORP and was supported by members from Johnston, LLC (MEP), Knudson and Associates (landscape), and Van De Wiele Engineering (civil infrastructure). Several HCC Administration members, including, Winston Dahse (Vice Chancellor of Facilities), Dr. Art Tyler (Deputy Chancellor and COO), Reynaldo Pradia (Director of Construction), Hector Perez (Director of Maintenance) and Alden Tiggs (CAD / Ad Astra System Administration), supported the assessment effort by facilitating the study, providing continuous interaction and help with its direction. In addition, campus operations, maintenance, and management personnel assisted in the study by providing access to the facilities, additional on-site information, and support during the site visits.

This Facilities Condition Assessment Report provides an inventory and detailed physical condition of the existing facilities along with the detailed costs for the identified facilities' improvements and a recommended timeframe to implement the repairs.

This Report is presented in two volumes and is organized into the following sections:

- Executive Summary
- Section 1 - Facilities Data Retrieval & Documentation Process
- Section 2 - Facilities Condition Assessment Methodology & Data
- Section 3 - Deferred Maintenance Costs, Schedule & FCI
- Section 4 - Summary of Recommendations and Action Plan
- Detailed Facilities & Assessment Data and Back-up Information - Volume 2

This study is the next logical step in supporting and solidifying HCC's on-going planning efforts to create a Comprehensive Facilities Master Plan. We hope the information presented in this report will form a good basis for facilities operations, their management, and also in the planning of present and future college activities.


We appreciate the opportunity to perform this study. Please call us at 713.680.0080 should you have any questions, need any additional information, or if we can be of any further assistance.

Sincerely,

ESPA CORP, Inc.



Grant Wiley, Jr.
Project Manager



Karun Sreerama, MBA, Ph.D., P.E.
President



Willie C. Jordan, Jr., AIA
Director - Architecture Services

Enclosures - Facility Condition Assessment Report - Volumes 1 & Volume 2



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College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	AMER	Americana Bldg	Americana Building	811 Dallas St, 77002	----	0	1 1/2	30,000	\$36,000	\$5,161,000	0.70%

Sitework / Landscape

Landscape: N/A
Sitework: N/A

Building Description

The Americana Building has one and a half floors leased out by HCC in downtown Houston. The 7th floor is leased and used for classrooms and computer training. Half of the 6th floor is leased for massage therapy training classes. These spaces were built-out within the last five years. Restrooms need to be updated to ADA compliance for turning radiuses, approaches, and accessories. See ADA Code of Standards sections 4.16.2 and 4.19.3 for clear floor space.

Mechanical

Mechanical Systems for this facility are being maintained by the building owner CBRE and not HCC.

Electrical

Electrical Systems for this facility are being maintained by the building owner CBRE and not HCC.

Plumbing

Plumbing Systems for this facility are being maintained by the building owner CBRE and not HCC.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16.2 and 4.19.3 for clear floor space.

Photographs		Location Map	
Date: 11-Jun-09	Date: 2-Jul-09		
Description: Southwest elevation of Americana Building.	Description: Typical restroom with non ADA compliance.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	AMER
Building Name	Americana Building

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
3	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ 18,000.00	\$ 18,000.00	\$ -	\$ 36,000.00	\$ 12,000.00	\$ 36,000.00
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -		\$ 36,000.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

EXECUTIVE SUMMARY



EXECUTIVE SUMMARY

This **Executive Summary** condenses and provides key findings of our Facility Condition Assessment study.

Houston Community College (HCC) facilities totaling approximately 4.1 million square feet include 54 buildings organized into 6 colleges spread over 22 campuses. HCC assigned the Level 1 Facility Condition Assessment responsibility to the ESPA team composed of ESPA CORP (Planning, Project Management, Architecture, and Engineering), Johnston, LLC (MEP), Knudson and Associates (Landscape), and Van De Wiele Engineering, Inc. (Civil Infrastructure).

The first task of this study was to retrieve the available data and documentation within the HCC system on the facilities. Drawings and other pertinent information were available for a majority of the facilities and components. A list of missing drawings and component information was identified. Based on our discussions with HCC personnel and our experience with similar facility systems, a recommendation is made for HCC's Construction Document Archival and Retrieval Process (**Section 1**).

Section 2 documents our Facilities Condition Assessment procedure and the data obtained during the field assessment. The physical condition of the buildings was assessed by visiting the buildings and, where available, discussing the building maintenance and operations with the onsite personnel. The observed deficiencies and the costs associated with the repairs are presented in a tabular form for each building. The observation and assessment of the physical condition of the buildings revealed several repairs and maintenance needs for the existing facilities. A detailed budgetary cost estimate was developed for each of these needs and summed to obtain the repair/maintenance cost for each building.

Section 3 identifies the deferred maintenance schedule, deferred maintenance budgets over the next four years, and the replacement costs of the facilities. Replacement cost for the buildings was computed developed based on RS Means 2009 Quarter 3 Construction Cost Data. A ratio of the repair and replacement costs provided the Facility Cost Index (FCI) for each building.

$$\text{Facility Cost Index (FCI)} = \frac{\text{Maintenance / Repair Cost for the building}}{\text{Replacement Cost of the building}}$$

A low FCI is good and indicates the building has been appropriately maintained. A high FCI indicates high maintenance and repair costs for the building and a lack of adequate and timely maintenance.

The below Table provides a summary of our building assessments and facility repair costs. The repair and maintenance cost for all buildings and the infrastructure around them totals about \$108 million. The replacement cost of all buildings totals approximately \$720 million. The overall FCI for all HCC buildings is 15%.

College Code	Building Code	Campus Name	Facility Name	Facility Gross SFTG	Repair Hard Costs	Total Replacement Hard Costs	FCI (Facilities Cost Index)
100	SYSP	Administration	Parking Structure	488,660	\$ 344,000	\$ 23,768,000	1.4%
100	SYSB	Administration	System Building	531,000	\$ 28,863,000	\$ 73,889,000	39.1%
200	AMER	Americana Bldg	Americana Building	30,000	\$ 36,000	\$ 5,161,000	0.7%
200	BSCC	Central Campus	Business Center	36,680	\$ 1,882,000	\$ 6,454,000	29.2%
200	CRAW	Central Campus	Crawford Annex	1,200	\$ 62,000	\$ 272,000	22.8%
200	CIC	Central Campus	Curriculum Innovation Center	2,000	\$ 130,000	\$ 717,000	18.1%
200	EDC	Central Campus	Educational Development Ctr.	40,845	\$ 1,206,000	\$ 7,760,000	15.5%
200	FAC	Central Campus	Fine Arts Center	75,000	\$ 2,417,000	\$ 13,521,000	17.9%
200	FACP	Central Campus	Fine Arts Parking Structure	213,900	\$ 94,000	\$ 10,589,000	0.9%
200	HEINEN	Central Campus	Heinen Theater	18,000	\$ 837,000	\$ 3,252,000	25.7%
200	JDB	Central Campus	J. Don Boney Building	35,000	\$ 1,864,000	\$ 10,142,000	18.4%
200	JBW	Central Campus	J.B. Whitely Bldg.	102,000	\$ 5,443,000	\$ 16,719,000	32.6%
200	SJAC	Central Campus	San Jacinto Memorial	172,000	\$ 11,149,000	\$ 26,408,000	42.2%
200	LHSB	Central Campus	Learning Hub Science Building	120,000	\$ 24,000	\$ 20,448,000	0.1%
200	SIS	Central Campus	Staff Instructional Services	21,800	\$ 1,431,000	\$ 4,259,000	33.6%
200	THT1	Central Campus	Theater One	21,900	\$ 1,560,000	\$ 3,632,000	43.0%
200	WW	Central Campus	West Wing	60,500	\$ 4,000	\$ 10,199,000	0.0%
200	GAYHL	Willie Gay Hall	Willie Gay Hall	39,000	\$ 101,000	\$ 9,071,000	1.1%
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	53,658	\$ 3,316,000	\$ 8,456,000	39.2%
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	18,401	\$ 1,620,000	\$ 3,607,000	44.9%
300	CODW	Codwell Hall Campus	Codwell Hall	76,000	\$ 126,000	\$ 15,162,000	0.8%
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	1,325	\$ 5,000	\$ 219,000	2.3%
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	90,000	\$ 28,000	\$ 16,859,000	0.2%
300	NOLN	Northline Center	Northline - New Academic Ctr.	80,500	\$ 38,000	\$ 21,121,000	0.2%
300	PINE	Pinemont Campus	Pinemont Hall	51,368	\$ 2,094,000	\$ 11,469,000	18.3%
300	PSI	Codwell Hall Campus	Public Safety Institute	11,000	\$ 37,000	\$ 16,898,000	0.2%
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	13,000	\$ 52,000	\$ 7,613,000	0.7%
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	46,800	\$ 45,000	\$ 10,020,000	0.4%
300	CHPP	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	10,432	\$ 16,000	\$ 1,824,000	0.9%
400	KAML	Katy Mills Mall	Early Childhood Development	8,050	\$ 54,000	\$ 2,048,000	2.6%
400	COMM	Spring Branch Campus	Commons / Bookstore	8,576	\$ -	\$ 1,515,000	0.0%
400	PAC	Spring Branch Campus	Performing Arts Center	36,750	\$ 1,583,000	\$ 8,442,000	18.8%
400	SCIB	Spring Branch Campus	Science Building	19,417	\$ 641,000	\$ 5,294,000	12.1%
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	32,306	\$ 2,422,000	\$ 10,792,000	22.4%
400	KATY	Katy Campus	Westgate Center	108,503	\$ 7,843,000	\$ 21,606,000	36.3%
500	AM	Eastside Campus	Angela Morales Building	65,000	\$ 478,000	\$ 2,749,000	17.4%
500	ESAN	Eastside Campus	Eastside Annex	25,300	\$ 90,000	\$ 5,660,000	1.6%
500	FM	Eastside Campus	Felix Morales Building	54,345	\$ 68,000	\$ 11,311,000	0.6%
500	FFAC	Eastside Campus	Felix Fraga Academic	69,100	\$ -	\$ 12,594,000	0.0%
500	OFFCTY	Eastside Campus	Office City	8246	\$ 35,000	\$ 2,571,000	1.4%
500	SELH	Eastside Campus	Southeast Learning Hub	90,213	\$ 161,000	\$ 16,913,000	1.0%
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	2816	\$ 83,000	\$ 140,000	59.3%
500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	2,859	\$ 84,000	\$ 140,000	60.0%
600	ACEU	Alief Continuing Educ. Ctr.	Alief	43,000	\$ 133,000	\$ 9,780,000	1.4%
600	MOCC	Missouri City Campus	Academic Ctr Sienna Plantation	48,456	\$ 35,000	\$ 10,409,000	0.3%
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	18,088	\$ 519,000	\$ 4,739,000	11.0%
600	GRNB	Southwest Center	Greenbriar Annex	17,100	\$ 28,000	\$ 3,848,000	0.7%
600	GULF	Gulfton Center Campus	Gulfton Center	35,500	\$ 92,000	\$ 7,577,000	1.2%
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	385,000	\$ 17,118,000	\$ 65,968,000	25.9%
600	STF2	Scarcella Center	Scarcella Science & Tech. Ctr.	75,000	\$ 989,000	\$ 16,102,000	6.1%
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	57,230	\$ 2,833,000	\$ 9,777,000	29.0%
600	STF3	Scarcella Center	SW Stafford Learning Hub	120,000	\$ 49,000	\$ 26,390,000	0.2%
600	WLOP	West Loop Center	West Loop Center	199,451	\$ 4,791,000	\$ 33,497,000	14.3%
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	140,000	\$ 623,000	\$ 37,081,000	1.7%

The required repairs and maintenance items were categorized into the five main categories. These categories and their corresponding total budgetary costs for all buildings combined are provided in the Table below.

Facility Repair Aspect	Total Repair Costs
ADA & Life Safety	\$1 million
Architecture & Interior	\$4 million
Site Infrastructure	\$5.4 million
Mechanical	\$70 million
Electrical	\$23.5 million
Plumbing	\$3 million
Landscape	\$1 million
Total Repair Cost	\$108 million

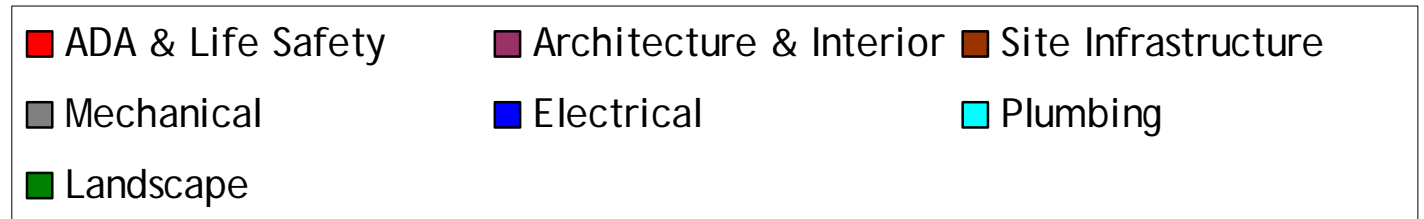
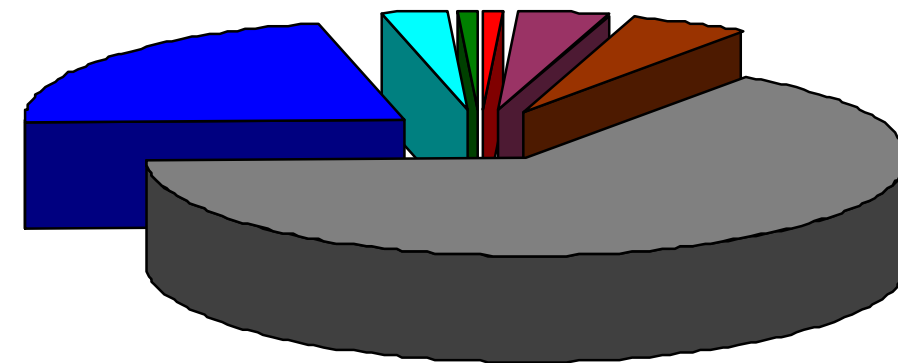
Based on our study, a deferred maintenance budget and schedule is recommended for adoption by HCC. This recommendation, if adopted, will enable the existing facilities to be brought to a good condition within a period of four years. This will require the following deferred maintenance budgets:

Year 1	\$26 million
Year 2	\$26 million
Year 3	\$27 million
Year 4	\$29 million

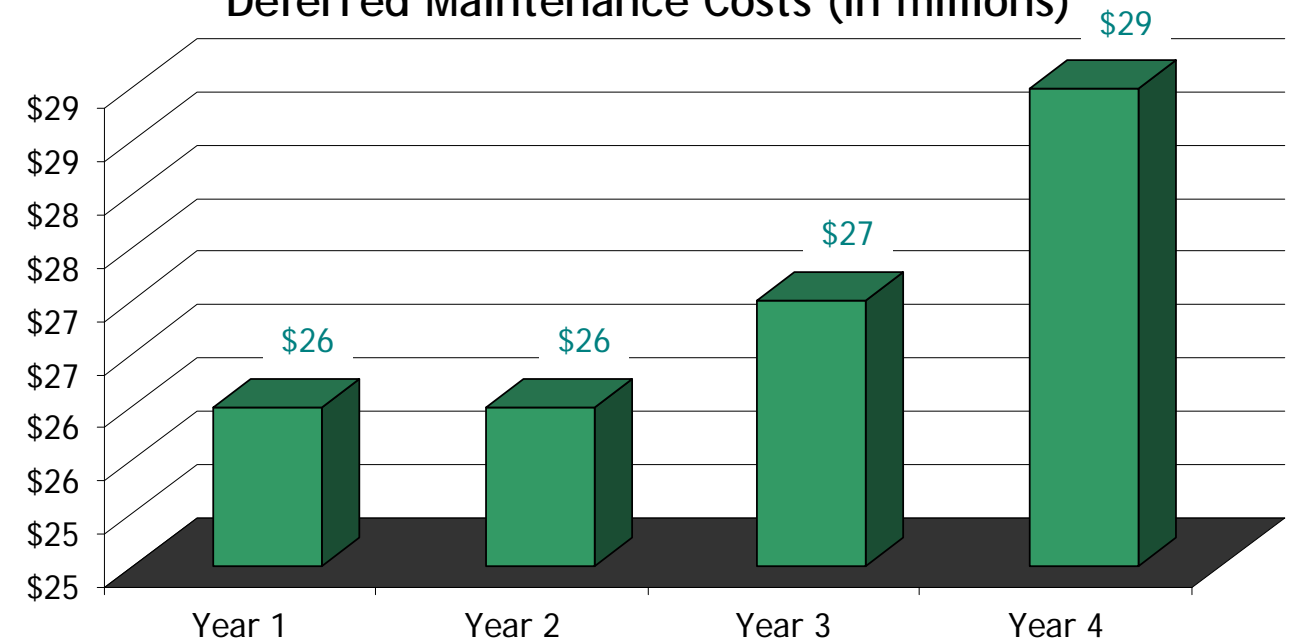
A summary of the recommendations is presented in **Section 5**. The key findings of this study are:

- The missing drawings and information should be completed to enable the facilities information archival to be complete and comprehensive.
- Implement the recommended construction document archival and retrieval processes.
- A total of 54 facilities were surveyed. The buildings were spread over 22 campuses. The total gross area of the buildings was approximately 4.1 million square feet. The buildings and component conditions were observed and the required repairs for each building were recorded.

Total Repair Costs (in millions)



Deferred Maintenance Costs (in millions)



- The data on facilities and the recommended repairs are detailed in the text of this report and also presented in an electronic database. The total cost of repairs is about \$108 million.
- Majority of the identified repair costs are for the mechanical systems. Electrical systems repair is also a significant cost.
- A deferred maintenance budget and schedule is recommended that will enable HCC to complete all the identified repairs in four years and bring all the HCC facilities to standards.
- Facilities require on-going maintenance and upkeep to maintain their functionality, intended use, and asset value. The existing HCC facilities require a budget of \$15 to \$28 million annually to maintain them to the present standards.
- Additional issues identified with the facilities include, in general, a lack of adequate parking; a need to increase, improve, and standardize campus and building signage; an improvement of campus entry ways; and utilize HCC facilities and buildings as a branding tool to improve visibility and identity;



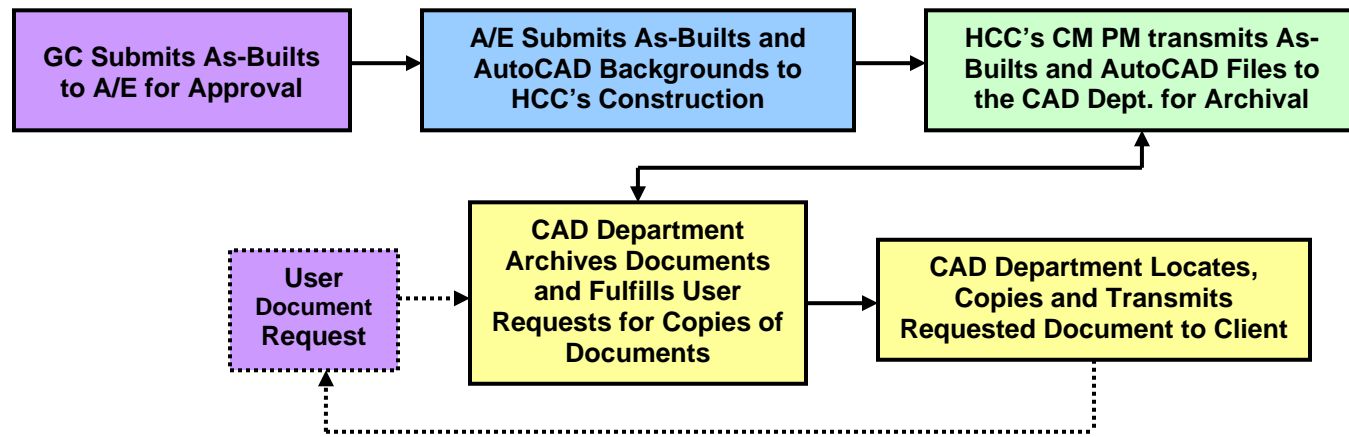
SECTION 1
FACILITIES DATA RETRIEVAL AND DOCUMENTATION PROCESS

SECTION 1: FACILITIES DATA RETRIEVAL AND DOCUMENTATION PROCESS

Current HCC Construction Document Archival and Retrieval Process

Currently, Houston Community College (HCC) contractually requires all A/Es and General Contractors to provide record drawings to HCC's Construction Management Department as part of its project closeout procedure. Construction Management's CAD department is ultimately responsible for the archiving and retrieving of record drawings.

The following flowchart illustrates the chain of responsibility for these documents.



Definition of Terms

HCC: Houston Community College	A/E: Architect / Engineer
GC: General Contractor	PM: Project or Program Manager
CM: Construction Management	CAD: Computer-Aided Design
As-Builts: Construction Documents revised in the field by the GC to depict actual field conditions as constructed.	

Observed Deficiencies with HCC's Construction Documents Archival and Retrieval Process

The observed Archival and Retrieval Process currently utilized by HCC Construction Management is logical in its concept. There are, however, significant deficiencies in its execution. The primary issues negatively impacting the CAD Department's ability to efficiently service its client's needs are outlined below.

1. Limited Archival Space for Physical Documentation

Currently the CAD Department is responsible for storing the following documentation for the entirety of the Houston Community College System.

Milestone Design Sign-Off Documents	As-Built Construction Documents
O & M Manuals	Construction Contracts
Deeds	Appraisals
Tenant Leases	AutoCAD Drawing Files
PDF Scans	

Their current allotted storage space has been greatly exceeded. As a result, documents are being stacked on the floor, on top of flat files, out in the corridor, in file cabinets in other offices, etc.

Solution: The allocation of additional adjacent storage space for active files and off-site storage space for inactive files would solve this issue.

2. Inadequate Storage Furniture / Units for Physical Documentation

The number, type and configuration of existing storage units are inefficient. Valuable floor and wall space is underutilized the way storage units are currently configured.

Solution: The existing space can be more effectively utilized through additional storage units more compactly and efficiently arranged.

3. No Effective Comprehensive Cataloging and Tagging System for Physical Documentation

In speaking with the CAD Manager, Alden Tiggs, there is an organizational system where by documents are archived. However, he stated that due to limited space and a limited number of storage units, the system cannot be properly implemented. He has to primarily depend on memory to locate documents that can't be stored in its logical location due to space limitation. This issue cannot be resolved without first correcting the space and storage unit issues.

Solution: Resolve the storage space and storage unit issues and fully implement a cataloging and tagging system.

Proposed Corrective Actions to HCC's Construction Documents Archival and Retrieval Process

Although HCC Construction Management's current Archival and Retrieval Process is logical, it is not comprehensive. In order for the process to be comprehensive and verifiable, it has to be inclusive of all project participants. The process must begin with and be clearly defined in the initial consultant contracts through the Construction Administration and Close-Out Phase of the project.

Below, we have outlined what we believe are positive, proactive processes which both ensure hand-off verification and chain of responsibility.

1. Include requirements for Milestone, As-Built and Closeout Documentation in all design, consultant and construction contracts.

- i. These requirements should define documentation format, number of copies, delivery dates and 'chain of responsibility' for hand-off of these documents.
- ii. The contracts should list those individuals or positions responsible for both transmitting and receiving the documents.
- iii. Delivery and positive hand-off of these documents should be tied to the consultants payment schedule; i.e., unless a signed transmittal showing delivery of the document is included with the consultant's invoice, the payment does not get processed.

2. Clearly identify each document via a prominently displayed Control Number.

- i. The Control Number should be an absolute, logical number generated and tracked by HCC.
- ii. The Control Number should be included in and displayed on all project-related documentation.
- iii. It should be prominently displayed on any and all consultant-generated, project-related documentation and distinct from any departmental or project number generated by any entity outside of HCC Construction Management. This will eliminate confusion between similarly-named projects or multiple projects involving the same facility. This also facilitates the possibility of implementing barcode or sensor document tracking if so desired by HCC.

3. Maximize Electronic Documentation and Reproduction and reduce paper where possible.

As previously identified, HCC's archival storage space is at maximum capacity. There are several means of decreasing the need for additional space and maximizing current space utilization.

- i. Audit the existing documents and identify those documents which are outdated or duplicates and have them destroyed.
- ii. Identify those documents which need to be retained and have them scanned to an electronic format such as an Adobe PDF file. Of those documents that need to be retained, a certain percentage will only be needed for reference. These can be scanned and the paper originals destroyed. Those documents with special legal or historical significance can be retained in a physical file.
- iii. Purchase larger-scale displays and plotters to assist in fast, accurate identification and retrieval of electronic documentation from the electronic archives. This eliminates the majority of need for the archivist to pull physical documents from storage in order to provide clients with requested reference material.

SECTION 2
FACILITIES CONDITION ASSESSMENT METHODOLOGY AND DATA

SECTION 2: FACILITIES CONDITION ASSESSMENT METHODOLOGY AND DATA

To maximize return on investment of facility assets, Houston Community College (HCC) must have good information on the distinctive facility elements and status of the assets. A detailed inventory of the facilities, and the components of the facilities, are imperative and form the basis for preventive maintenance, predictive maintenance, space utilization, and capital asset replacement analysis.

There are several purposes for HCC to conduct the facilities condition assessment program. The primary purposes were to:

- Gain a better understanding of the facilities and systems under operation and use;
- Identify the maintenance backlog and determine priorities;
- Identify impending deficiencies before they become major problems;
- Minimize system downtime;
- Extend the useful life of the facility;
- Maximize energy efficiency;
- Help maintain asset value;
- Identify short and long-term issues for capital planning and renewal (promote the deferred maintenance program and maintenance back-log);
- Assist in building transactions such as “due diligence”;
- Provide better service to students and staff;
- Improve communication among maintenance personnel, facility managers, consultants, and management;
- Improve maintenance and repair scheduling;

The primary means of conducting the assessments were to retrieve the existing facility data from the archive, physically survey the buildings and components, interview the maintenance and administrative staff whenever possible, and discuss the existing maintenance records.

Assessment Methodology

ESPA CORP team’s assessment methodology involved organizing the field assessment team into system teams (architecture / structural, civil infrastructure, MEP and equipment, and landscape). These teams then familiarized themselves with the facilities and systems based on the facility information and data retrieved from HCC. The next steps entailed scheduling facility visits, conducting the facilities walk-through, having discussions with facility maintenance personnel, recording the observed deficiencies, and organizing the data to identify the repair and maintenance costs.

Accordingly, the field assessment personnel were organized into three sets of distinct teams:

- Architecture and Structure Teams
- Mechanical, Electrical and Plumbing Teams, and
- Civil Infrastructure and Landscape Architecture Teams

Each team was composed of at least two qualified professionals experienced in performing the assessment. These teams of professionals were provided the available data, information, location of the buildings, and their components.

When the teams were ready, the field assessment was scheduled, in cooperation with the HCC management personnel. The length of the field visit and assessment depended on the size of the facility and the number of facilities within a campus. Each of the building and the associated systems were carefully assessed and the deficiencies were noted. Where possible, photographs of the building components and systems were taken. Additional information on working conditions and maintenance was gathered during discussions with the facility maintenance and operations personnel. The field notes and photographs were carefully organized and filed for analysis and reporting.

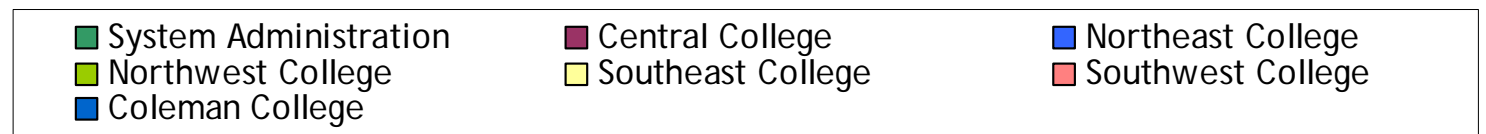
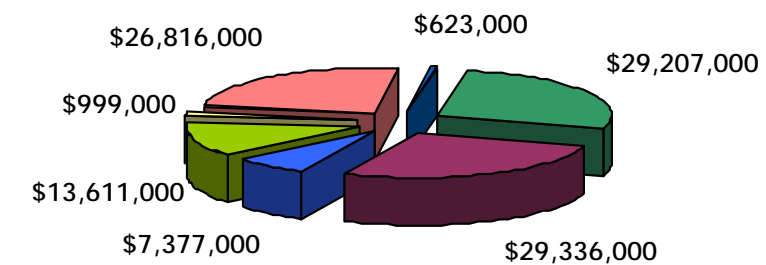
Assessment Data

HCC facilities consist of 54 buildings spread over 22 campuses. The map on page 7 shows of the approximate location of HCC facilities.

The detailed field assessment data and the photographs are presented in Volume 2 of this report. The assessment data for each building is presented in Section 5 of this report. The first page of each building report presents the building information, observed deficiencies by system, along with the building location and an external photograph. The second page presents a detailed list of building deficiencies along with a budgetary hard cost to correct the deficiency. Only construction costs are listed in these reports. The “soft” costs, such as design costs, are not included in this table. These costs were developed using the latest (2009 Quarter 3) unit construction and material costs offered in RS Means Construction Works database specific to the Houston area. Also, these costs do not include modernization or building alteration to address functional adequacy.

The Table below presents a summary of the repair costs by College. Detailed cost information is presented in subsequent pages and sections of this report.

Repair Hard Costs by College





FACILITIES LOCATION MAP

- NORTHWEST COLLEGE**
- 1 - KATY MILLS MALL
 - 2 - PERFORMING ARTS CENTER
 - 3 - SCIENCE BUILDING
 - 4 - SPRING BRANCH (TOWN & CNTRY CTR.)
 - 5 - WESTGATE CENTER

- SOUTHWEST COLLEGE**
- 6 - ALIEF CONTINUING EDUCATION CENTER
 - 7 - ACADEMIC CENTER SIENNA PLANTATION
 - 8 - APPLIED TECHNOLOGY CENTER
 - 9 - GREENBRIAR ANNEX
 - 10 - GULFTON CENTER
 - 11 - ALIEF CAMPUS
 - 12 - SCARCELLA SCIENCE & TECH CTR.
 - 13 - STAFFORD CAMPUS
 - 14 - SOUTHWEST STAFFORD LEARNING HUB
 - 15 - WEST LOOP CENTER

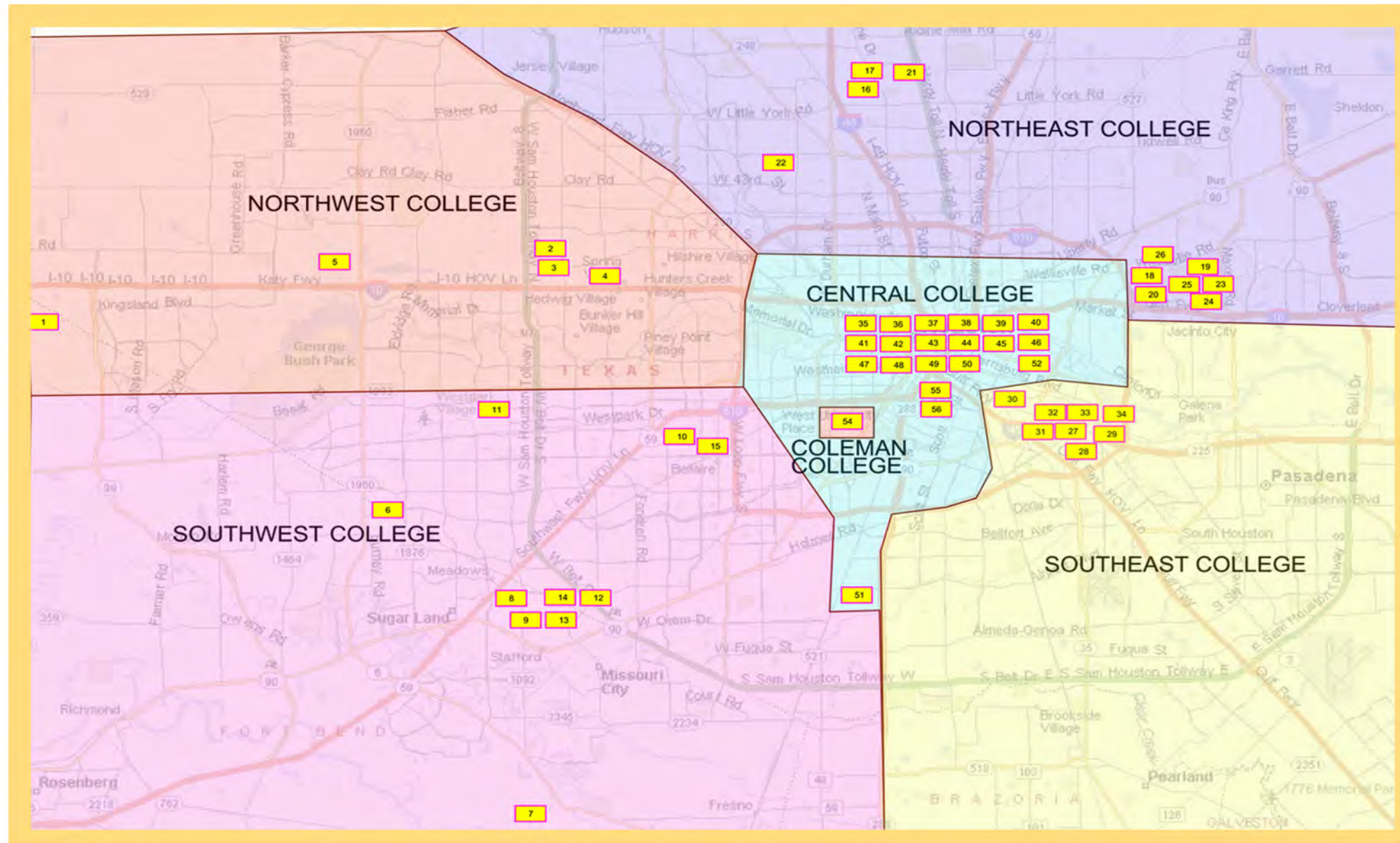
- NORTHEAST COLLEGE**
- 16 - AUTOMOTIVE TECH. TRAINING CTR. BLDG-A
 - 17 - AUTOMOTIVE TECH. TRAINING CTR. BLDG-B
 - 18 - CODWELL HALL
 - 19 - CODWELL HALL SHOWER
 - 20 - LEARNING HUB AT NORTHEAST
 - 21 - NORTHLINE-NEW ACADEMIC CENTER
 - 22 - PINEMONT HALL
 - 23 - PUBLIC SAFETY INSTITUTE
 - 24 - ROLAND SMITH TRUCK DRIVING CTR.
 - 25 - NORTHEAST SCIENCE AND TECH. BLDG.
 - 26 - SCIENCE STORAGE BUILDING

- SOUTHEAST COLLEGE**
- 27 - ANGELA MORALES BUILDING
 - 28 - EASTSIDE ANNEX
 - 29 - FELIX MORALES BUILDING
 - 30 - FELIX FRAGA ACADEMIC
 - 31 - OFFICE CITY
 - 32 - SOUTHEAST LEARNING HUB
 - 33 - TEMPORARY CLASSROOMS
 - 34 - TEMPORARY CLASSROOMS

- CENTRAL COLLEGE**
- 35 - AMERICANA BUILDING
 - 36 - BUSINESS CENTER
 - 37 - CRAWFORD ANNEX
 - 38 - CURRICULUM INNOVATION CENTER
 - 39 - EDUCATIONAL DEVELOPMENT CENTER
 - 40 - FINE ARTS CENTER
 - 41 - FINE ARTS PARKING STRUCTURE
 - 42 - HEINEN THEATER
 - 43 - J. DON BONEY BUILDING
 - 44 - J.B. WHITELY BUILDING
 - 45 - REFUGEE PROGRAM/UPWARD BOUND
 - 46 - SAN JACINTO MEMORIAL
 - 47 - LEARNING HUB SCIENCE BUILDING
 - 48 - STAFF INSTRUCTIONAL SERVICES
 - 49 - THEATER ONE
 - 50 - WEST WING
 - 51 - WILLIE GAY HALL
 - 52 - RESIDENTIAL
 - 53 - BUFFALO SOLDIERS MUSEUM

- COLEMAN COLLEGE**
- 54 - COLEMAN HEALTH SCIENCE CENTER

- SYSTEM**
- 55 - ADMINISTRATION BUILDING
 - 56 - ADMINISTRATION BLDG. PARKING STRUCT.





Houston Community College Facilities Assessment
Repair Hard Costs By College



College Code	Building Code	College Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plumb Cost	ADA/LS Landscape Cost	ADA/LS Architectural Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Surface Parking Cost	Repair Hard Costs	Total Replacement Hard Costs
100	-	System	100	\$ 44,000	\$ 71,000	\$ 685,000	\$ 23,059,000	\$ 5,348,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 29,207,000	\$ 97,657,000
200	-	Central	200	\$ 299,000	\$ 2,916,000	\$ 112,000	\$ 15,008,000	\$ 7,386,000	\$ 1,840,000	\$ 5,000	\$ 283,000	\$ -	\$ 391,000	\$ 1,096,000	\$ 29,336,000	\$ 148,604,000
300	-	Northeast	300	\$ 182,000	\$ 167,000	\$ 1,419,000	\$ 3,593,000	\$ 1,671,000	\$ 205,000	\$ 2,000	\$ 48,000	\$ -	\$ 89,000	\$ -	\$ 7,377,000	\$ 113,248,000
400	-	Northwest	400	\$ 158,000	\$ 558,000	\$ 2,044,000	\$ 5,857,000	\$ 3,221,000	\$ 667,000	\$ 2,000	\$ 36,000	\$ -	\$ -	\$ 1,068,000	\$ 13,611,000	\$ 49,697,000
500	-	Southeast	500	\$ 56,000	\$ 133,000	\$ 243,000	\$ 525,000	\$ 42,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 999,000	\$ 52,078,000
600	-	Southwest	600	\$ 277,000	\$ 204,000	\$ 864,000	\$ 20,133,000	\$ 4,682,000	\$ 278,000	\$ -	\$ 72,000	\$ -	\$ 77,000	\$ 229,000	\$ 26,816,000	\$ 188,087,000
700	-	Colleman	700	\$ 12,000	\$ 6,000	\$ 2,000	\$ 86,000	\$ 517,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 623,000	\$ 37,081,000

Houston Community College Facilities Assessment
Repair Hard Costs By Campus

College Code	Building Code	Campus Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plumb Cost	ADA/LS Landscape Cost	ADA/LS Architectural Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Surface Parking Cost	Repair Hard Costs	Total Replacement Hard Costs
100	-	Administration	-	\$ 44,000	\$ 71,000	\$ 685,000	\$ 23,059,000	\$ 5,348,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 29,207,000	\$ 97,657,000
200	-	Americana Bldg	-	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 36,000	\$ -	\$ -	\$ -	\$ 36,000	\$ 5,161,000
200	-	Central Campus	-	\$ 263,000	\$ 2,906,000	\$ 57,000	\$ 15,008,000	\$ 7,386,000	\$ 1,840,000	\$ 5,000	\$ 247,000	\$ -	\$ 391,000	\$ -	\$ 28,103,000	\$ 134,372,000
200	-	Willie Gay Hall	-	\$ 36,000	\$ 10,000	\$ 55,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 101,000	\$ 9,071,000
300	-	Automotive Tech.Training Ctr.	-	\$ 36,000	\$ 126,000	\$ 1,312,000	\$ 2,061,000	\$ 1,064,000	\$ 200,000	\$ -	\$ 48,000	\$ -	\$ 89,000	\$ -	\$ 4,936,000	\$ 12,063,000
300	-	Codwell Hall Campus	-	\$ 146,000	\$ 41,000	\$ 107,000	\$ 1,532,000	\$ 607,000	\$ 5,000	\$ 2,000	\$ -	\$ -	\$ -	\$ -	\$ 2,441,000	\$ 101,185,000
300	-	Northline Center	-	\$ 34,000	\$ -	\$ 3,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 38,000	\$ 21,121,000
300	-	Pinemont Campus	-	\$ -	\$ 8,000	\$ 1,000	\$ 1,516,000	\$ 569,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,094,000	\$ 11,469,000
400	-	Katy Mills Mall	-	\$ 27,000	\$ 10,000	\$ 17,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 54,000	\$ 2,048,000
400	-	Spring Branch Campus	-	\$ 111,000	\$ 274,000	\$ 618,000	\$ 1,586,000	\$ 2,020,000	\$ -	\$ 1,000	\$ 36,000	\$ -	\$ -	\$ -	\$ 4,646,000	\$ 26,043,000
400	-	Katy Campus	-	\$ 20,000	\$ 274,000	\$ 1,409,000	\$ 4,271,000	\$ 1,201,000	\$ 667,000	\$ 1,000	\$ -	\$ -	\$ -	\$ -	\$ 7,843,000	\$ 21,606,000
500	-	Eastside Campus	-	\$ 56,000	\$ 133,000	\$ 243,000	\$ 525,000	\$ 42,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 999,000	\$ 52,078,000
600	-	Alief Continuing Educ. Ctr.	-	\$ 35,000	\$ -	\$ 98,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 133,000	\$ 9,780,000
600	-	Missouri City Campus	-	\$ 28,000	\$ -	\$ 7,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 35,000	\$ 10,409,000
600	-	Applied Technology Center	-	\$ -	\$ -	\$ 7,000	\$ 267,000	\$ 156,000	\$ 67,000	\$ -	\$ -	\$ -	\$ 22,000	\$ -	\$ 519,000	\$ 4,739,000
600	-	Southwest Center	-	\$ -	\$ -	\$ 20,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,000	\$ -	\$ 28,000	\$ 3,848,000
600	-	Gulfton Center Campus	-	\$ 39,000	\$ 25,000	\$ 4,000	\$ -	\$ -	\$ -	\$ -	\$ 24,000	\$ -	\$ -	\$ -	\$ 92,000	\$ 7,577,000
600	-	Alief Campus	-	\$ 23,000	\$ -	\$ -	\$ 14,207,000	\$ 2,841,000	\$ -	\$ -	\$ -	\$ -	\$ 47,000	\$ -	\$ 17,118,000	\$ 65,968,000
600	-	Scarcella Center	-	\$ 88,000	\$ 11,000	\$ 16,000	\$ 923,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,038,000	\$ 42,492,000
600	-	Stafford Campus	-	\$ 30,000	\$ 79,000	\$ 705,000	\$ 1,056,000	\$ 704,000	\$ 211,000	\$ -	\$ 48,000	\$ -	\$ -	\$ -	\$ 2,833,000	\$ 9,777,000
600	-	West Loop Center	-	\$ 34,000	\$ 89,000	\$ 7,000	\$ 3,680,000	\$ 981,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,791,000	\$ 33,497,000
700	-	Coleman Health Science Ctr.	-	\$ 12,000	\$ 6,000	\$ 2,000	\$ 86,000	\$ 517,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 623,000	\$ 37,081,000



Houston Community College Facilities Assessment
Surface Parking Repair Hard Costs



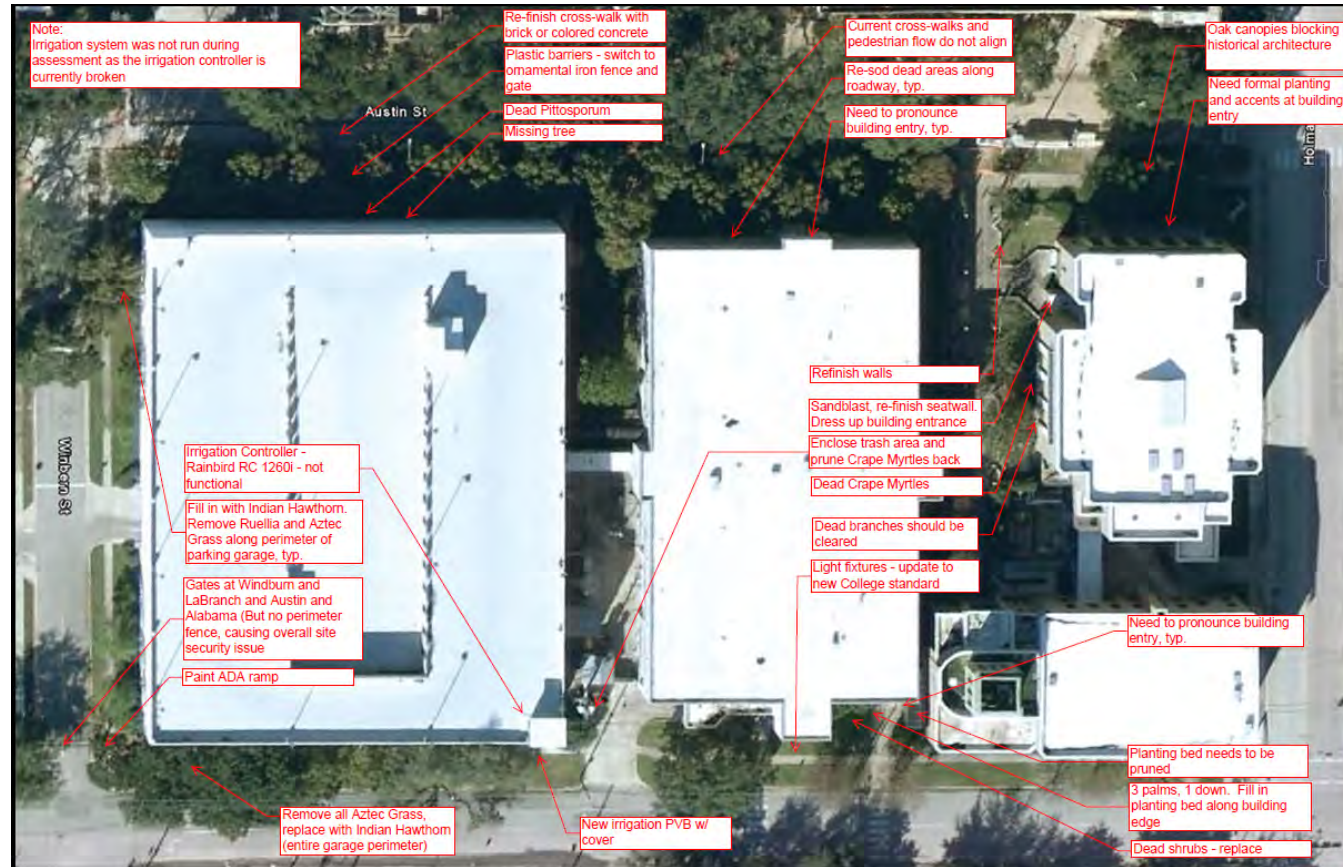
College Code	Building Code	Campus Name	Surface Parking Lot Name	Surface Parking Repair Hard Costs	Surface Parking Total Replacement Hard Costs	Surface Parking FCI (Facilities Cost Index)	Surface Parking Acreage	Surface Parking Gross SFTG
100	-	Central Campus	EDC Parking Lot P	\$ 17,000	\$ 166,000	10.24%	0.42	18,295
100	-	Central Campus	JBW Parking Lot #6 & #12	\$ 264,000	\$ 703,000	37.55%	1.78	77,537
100	-	Central Campus	San Jacinto Memorial Backside Parking	\$ 41,000	\$ 186,000	22.04%	0.47	20,473
100	-	Central Campus	San Jacinto Main Parking Lot	\$ 36,000	\$ 470,000	7.66%	1.19	51,836
100	-	Central Campus	SIS Parking Lot Lot #8	\$ 2,000	\$ 324,000	0.62%	0.82	35,719
100	-	Central Campus	Caroline Annex & Parking Lot #10	\$ 116,000	\$ 423,000	27.42%	1.07	46,609
100	-	Central Campus	Parking Lot #7 & #14	\$ 24,000	\$ 419,000	5.73%	1.06	46,174
100	-	Central Campus	Parking Lot #9	\$ 27,000	\$ 138,000	19.57%	0.35	15,246
100	-	Central Campus	Parking Lot #13	\$ 3,000	\$ 111,000	2.70%	0.28	12,197
100	-	Central Campus	Parking Lot #15	\$ 85,000	\$ 91,000	93.41%	0.23	10,019
100	-	Central Campus	Parking Lot #3 & #5	\$ 224,000	\$ 683,000	32.80%	1.73	75,359
100	-	Central Campus	Crawford Parking Lot P	\$ 257,000	\$ 277,000	92.78%	0.70	30,492
400	PAC	Spring Branch Campus	PAC North Parking Lot	\$ 1,068,000	\$ 2,074,000	51.49%	5.25	228,690
600	ACEU	Alief Campus	ALIF Parking Lot	\$ 99,000	\$ 1,600,000	6.19%	4.05	176,418
600	STF2	Scarcella Center	STF2 South Parking Lot	\$ 3,000	\$ 2,354,000	0.13%	5.96	259,618
600	STAF	Stafford Campus	Stafford Campus Offsite Parking Lot	\$ 105,000	\$ 668,000	15.72%	1.69	73,616
600	WLOP	West Loop Center	WLOP West Parking Lot	\$ 22,000	\$ 2,895,000	0.76%	7.33	319,295
Surface Parking Total(s)				\$ 2,393,000	\$ 13,582,000	17.62%	34.38	1497593



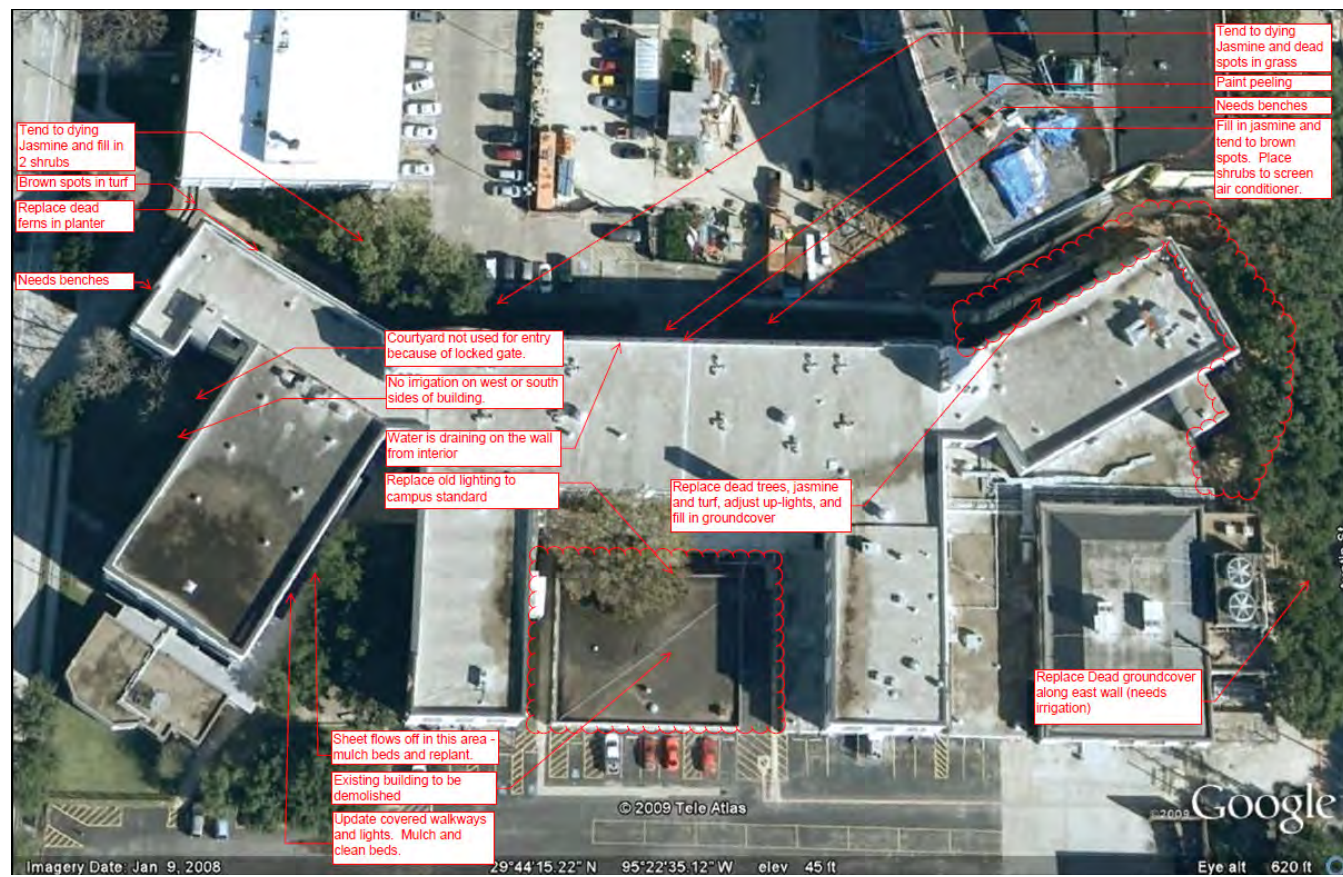
Houston Community College Facilities Assessment
Sorted By Percentage ADA / Life Safety Cost



College Code	Building Code	Campus Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plum Cost	ADA/LS Landscape Cost	ADA/LS Arch Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Repair Hard Costs	Total ADA / Life Safety Costs	Percentage ADA / Life Safety of Hard Cost
200	AMER	Americana Bldg	Americana Building	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 36,000	\$ -	\$ -	\$ 36,000	\$ 36,000	100.00%
600	GRNB	Southwest Center	Greenbriar Annex	\$ -	\$ -	\$ 20,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 8,000	\$ 28,000	\$ 8,000	28.57%
600	GULF	Gulfton Center Campus	Gulfton Center	\$ 39,000	\$ 25,000	\$ 4,000	\$ -	\$ -	\$ -	\$ -	\$ 24,000	\$ -	\$ -	\$ 92,000	\$ 24,000	26.09%
200	HEINEN	Central Campus	Heinen Theater	\$ 2,000	\$ 144,000	\$ 3,000	\$ 221,000	\$ 177,000	\$ 221,000	\$ -	\$ 69,000	\$ -	\$ -	\$ 837,000	\$ 69,000	8.24%
200	THT1	Central Campus	Theater One	\$ -	\$ 79,000	\$ 3,000	\$ 943,000	\$ 269,000	\$ 162,000	\$ -	\$ 77,000	\$ -	\$ 27,000	\$ 1,560,000	\$ 104,000	6.67%
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	\$ -	\$ -	\$ 7,000	\$ 267,000	\$ 156,000	\$ 67,000	\$ -	\$ -	\$ -	\$ 22,000	\$ 519,000	\$ 22,000	4.24%
200	LHSB	Central Campus	Learning Hub Science Building	\$ 22,000	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ 24,000	\$ 1,000	4.17%
200	CRAW	Central Campus	Crawford Annex	\$ 9,000	\$ 12,000	\$ -	\$ 27,000	\$ 12,000	\$ -	\$ 2,000	\$ -	\$ -	\$ -	\$ 62,000	\$ 2,000	3.23%
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 18,000	\$ 16,000	\$ 656,000	\$ 543,000	\$ 272,000	\$ 68,000	\$ -	\$ 24,000	\$ -	\$ 23,000	\$ 1,620,000	\$ 47,000	2.90%
200	SIS	Central Campus	Staff Instructional Services	\$ 47,000	\$ 133,000	\$ 3,000	\$ 938,000	\$ 215,000	\$ 54,000	\$ -	\$ 14,000	\$ -	\$ 27,000	\$ 1,431,000	\$ 41,000	2.87%
200	JBW	Central Campus	J.B. Whitely Bldg.	\$ 34,000	\$ 343,000	\$ -	\$ 2,760,000	\$ 1,656,000	\$ 502,000	\$ 1,000	\$ 22,000	\$ -	\$ 125,000	\$ 5,443,000	\$ 148,000	2.72%
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 18,000	\$ 110,000	\$ 656,000	\$ 1,518,000	\$ 792,000	\$ 132,000	\$ -	\$ 24,000	\$ -	\$ 66,000	\$ 3,316,000	\$ 90,000	2.71%
300	PSI	Codwell Hall Campus	Public Safety Institute	\$ 21,000	\$ -	\$ 15,000	\$ -	\$ -	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ 37,000	\$ 1,000	2.70%
400	PAC	Spring Branch Campus	Performing Arts Center	\$ 26,000	\$ 260,000	\$ 150,000	\$ 719,000	\$ 392,000	\$ -	\$ -	\$ 36,000	\$ -	\$ -	\$ 1,583,000	\$ 36,000	2.27%
200	SJAC	Central Campus	San Jacinto Memorial	\$ 40,000	\$ 1,105,000	\$ 29,000	\$ 6,347,000	\$ 2,962,000	\$ 423,000	\$ -	\$ 31,000	\$ -	\$ 212,000	\$ 11,149,000	\$ 243,000	2.18%
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 30,000	\$ 79,000	\$ 705,000	\$ 1,056,000	\$ 704,000	\$ 211,000	\$ -	\$ 48,000	\$ -	\$ -	\$ 2,833,000	\$ 48,000	1.69%
200	JDB	Central Campus	J. Don Boney Building	\$ 11,000	\$ 168,000	\$ 6,000	\$ 930,000	\$ 560,000	\$ 172,000	\$ -	\$ 17,000	\$ -	\$ -	\$ 1,864,000	\$ 17,000	0.91%
200	BSCC	Central Campus	Business Center	\$ 11,000	\$ 232,000	\$ 2,000	\$ 853,000	\$ 587,000	\$ 180,000	\$ -	\$ 17,000	\$ -	\$ -	\$ 1,882,000	\$ 17,000	0.90%
300	CODW	Codwell Hall Campus	Codwell Hall	\$ 31,000	\$ 28,000	\$ 38,000	\$ -	\$ 28,000	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ 126,000	\$ 1,000	0.79%
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	\$ 23,000	\$ -	\$ -	\$ 14,207,000	\$ 2,841,000	\$ -	\$ -	\$ -	\$ -	\$ 47,000	\$ 17,118,000	\$ 47,000	0.27%
200	EDC	Central Campus	Educational Development Ctr.	\$ 34,000	\$ 84,000	\$ 7,000	\$ 678,000	\$ 402,000	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ 1,206,000	\$ 1,000	0.08%
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	\$ 38,000	\$ 13,000	\$ 233,000	\$ 748,000	\$ 1,389,000	\$ -	\$ 1,000	\$ -	\$ -	\$ -	\$ 2,422,000	\$ 1,000	0.04%
400	KATY	Katy Campus	Westgate Center	\$ 20,000	\$ 274,000	\$ 1,409,000	\$ 4,271,000	\$ 1,201,000	\$ 667,000	\$ 1,000	\$ -	\$ -	\$ -	\$ 7,843,000	\$ 1,000	0.01%



HCC - SOUTHEAST COLLEGE - MORALES BUILDINGS - AM, FM



HCC CENTRAL CAMPUS - SJAC PARKING LOT



SECTION 3
DEFERRED MAINTENANCE COSTS, SCHEDULE AND FCI

SECTION 3: DEFERRED MAINTENANCE COSTS, SCHEDULE, AND FCI

Deferred Maintenance is a practice of allowing facility or infrastructure to deteriorate by postponing prudent, but non-essential, repairs to save cost, labor and/or material. The failure to perform needed repair, maintenance, and renewal by normal maintenance management creates deferred maintenance. Generally, a policy of continuing deferred maintenance will result in higher costs or failure than if normal maintenance had occurred.

Maintenance competes for funding with other programs and is often deferred because appropriations are not available or were redirected to other priorities or projects. Deferred maintenance is often not immediately reported; and, sometimes, not at all. Maintenance which is deferred because of insufficient funding may result in increased safety hazards, poor service to the public, higher costs in the future, and inefficient operations.

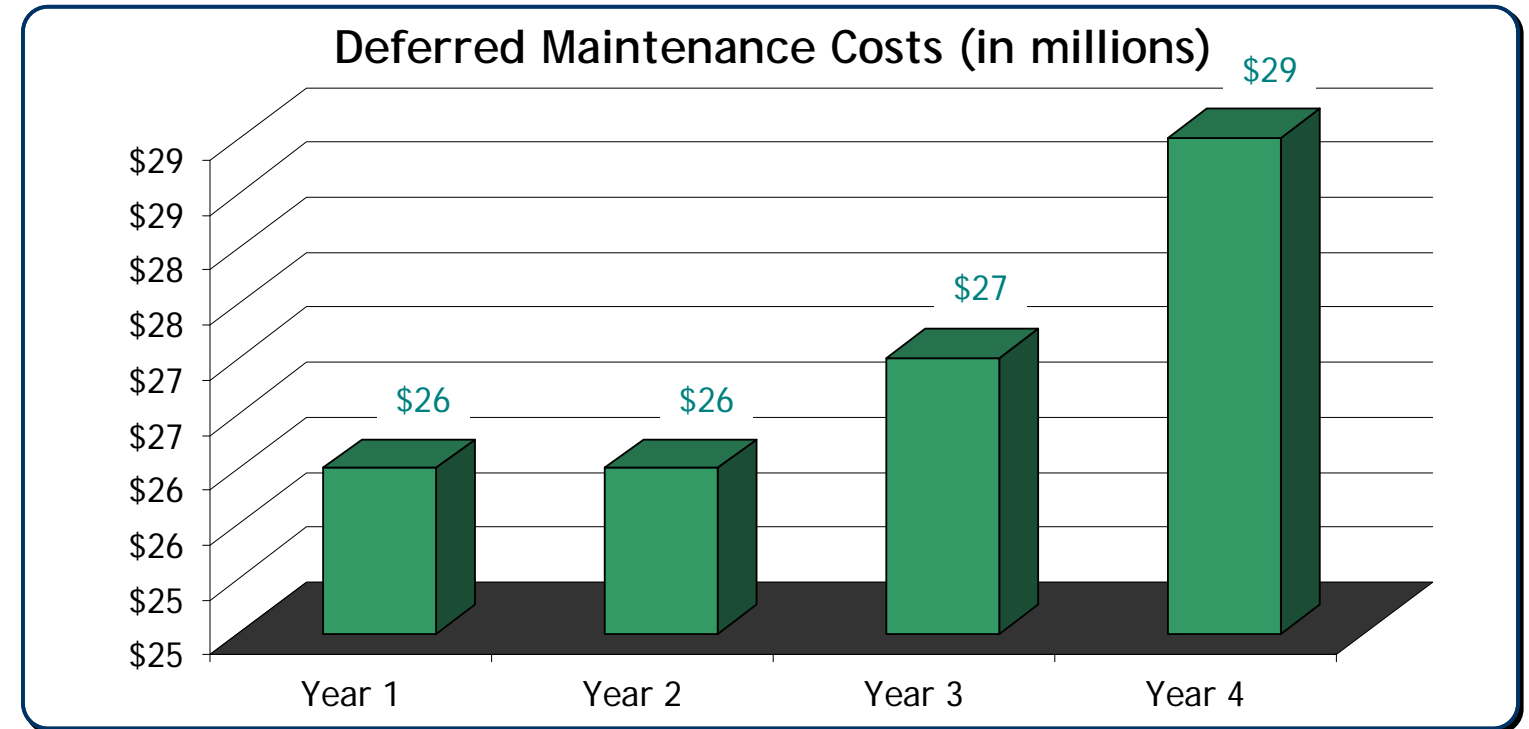
As was described in the previous sections of this report, ESPA CORP team performed an assessment of the HCC facilities. The assessment enabled identification of the required repairs and maintenance issues for the HCC facilities and its systems. A budget cost estimate was identified for these repairs. Detailed repair budget cost estimates are presented in tables in this report. The total repair cost estimate for all the HCC facilities was identified as approximately \$108 million.

Allocating budgets and performing the required repairs of approximately \$108 million within a fiscal year is highly unlikely. A practical method is to schedule the repairs in the order of priority and need. Then the repairs can be scheduled over several years and addressed as the budgets are allocated each year. Accordingly, the required facility repairs were sorted. The repairs required due to ADA and life safety systems inadequacy are listed as a priority. The repairs, if not addressed in the near-term, are recommended to be addressed in the order of their severity or need. Based on this prioritization, all the repairs are sorted and the budget costs are allocated over a four year term.

The table below shows the deferred maintenance costs and the corresponding years in which these repairs are recommended to be performed.

Deferred Year	Deferred Maintenance Costs (in millions)
Year 1	\$ 26
Year 2	\$ 26
Year 3	\$ 27
Year 4	\$ 29

A table showing the facilities, the recommended detailed list of repairs and the corresponding deferred maintenance costs is shown below.



HCC - SOUTHWEST COLLEGE - ALIEF CONT. EDUCATION CENTER - ACEU INFRASTRUCTURE REPAIRS LIST - EXAMPLE



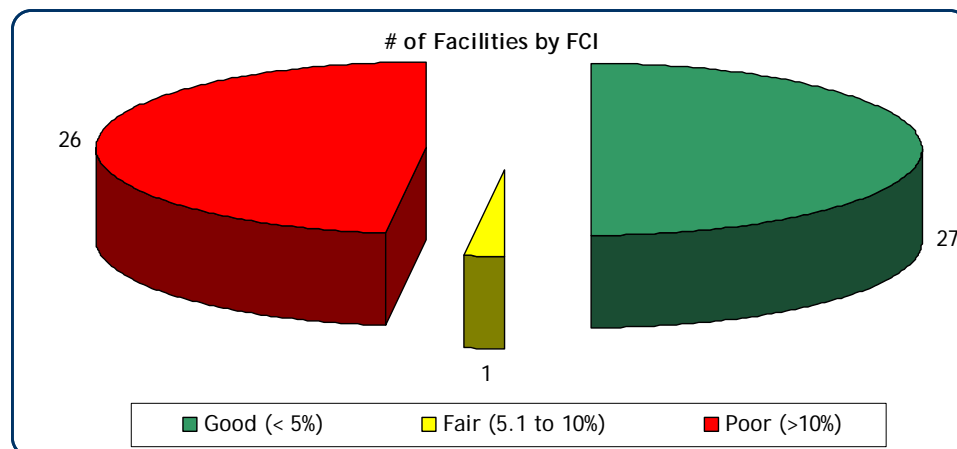
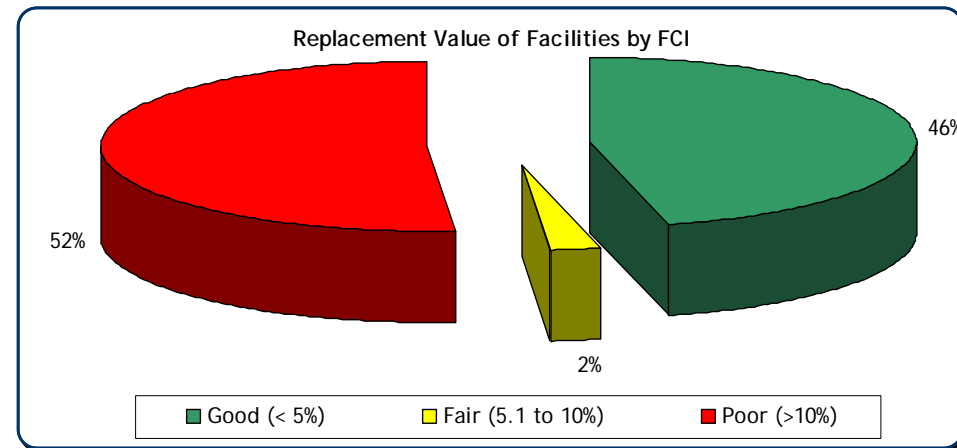
Using the available facilities information and the RS Means Construction Works 2009 Quarter 3 database for the Houston region, a current **Replacement Cost** for each of the facility was developed. The current replacement value represents the hypothetical expense of rebuilding the existing facility in a manner representing the original construction using current construction costs, materials, and methods. This replacement cost does not include fixtures, furnishings, equipment or site development.

The total replacement cost of all the HCC facilities is approximately \$720 million. A detailed table showing the facilities and the corresponding replacement cost is shown below.

One of the findings of the facility condition assessment process is the determination of the **Facility Cost Index (FCI)**. Facility cost index is a ratio, expressed as a percentage, of the total cost of identified deficiencies to the current replacement value of the facility. The FCI is used to compare the relative condition of facilities. Usually, the higher the FCI, the poorer the relative condition of the facility. APPA recommends the following FCI standards:

Condition	FCI
GOOD	0 to 5%
Fair	6 to 10%
Poor	10% and above

The ranking of the HCC facilities, as measured by FCI, is shown by college and campus. Detailed FCI data is shown in the tables in subsequent sections of this report.



Houston Community College Facilities Assessment Facilities Sorted By Facility Cost Index (FCI)					
College Code	Campus Name	Facility Name	Total Repair Hard Cost	Total Replacement Cost	FCI (Facilities Cost Index)
500	Eastside Campus	Temp. Classrms (6 Bldgs.)	\$ 84,000	\$ 140,000	60.00%
500	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$ 83,000	\$ 140,000	59.29%
300	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 1,620,000	\$ 3,607,000	44.91%
200	Central Campus	Theater One	\$ 1,560,000	\$ 3,632,000	42.95%
200	Central Campus	San Jacinto Memorial	\$ 11,149,000	\$ 26,408,000	42.22%
300	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 3,316,000	\$ 8,456,000	39.21%
100	Administration	System Building	\$ 28,863,000	\$ 73,889,000	39.06%
400	Katy Campus	Westgate Center	\$ 7,843,000	\$ 21,606,000	36.30%
200	Central Campus	Staff Instructional Services	\$ 1,431,000	\$ 4,259,000	33.60%
200	Central Campus	J.B. Whitely Bldg.	\$ 5,443,000	\$ 16,719,000	32.56%
200	Central Campus	Business Center	\$ 1,882,000	\$ 6,454,000	29.16%
600	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 2,833,000	\$ 9,777,000	28.98%
600	Alief Campus	Alief Campus (Hayes Road)	\$ 17,118,000	\$ 65,968,000	25.95%
200	Central Campus	Heinen Theater	\$ 837,000	\$ 3,252,000	25.74%
200	Central Campus	Crawford Annex	\$ 62,000	\$ 272,000	22.79%
400	Spring Branch Campus	Spring Branch (Town & Country)	\$ 2,422,000	\$ 10,792,000	22.44%
400	Spring Branch Campus	Performing Arts Center	\$ 1,583,000	\$ 8,442,000	18.75%
200	Central Campus	J. Don Boney Building	\$ 1,864,000	\$ 10,142,000	18.38%
300	Pinemont Campus	Pinemont Hall	\$ 2,094,000	\$ 11,469,000	18.26%
200	Central Campus	Curriculum Innovation Center	\$ 130,000	\$ 717,000	18.13%
200	Central Campus	Fine Arts Center	\$ 2,417,000	\$ 13,521,000	17.88%
500	Eastside Campus	Angela Morales Building	\$ 478,000	\$ 2,749,000	17.39%
200	Central Campus	Educational Development Ctr.	\$ 1,206,000	\$ 7,760,000	15.54%
600	West Loop Center	West Loop Center	\$ 4,791,000	\$ 33,497,000	14.30%
400	Spring Branch Campus	Science Building	\$ 641,000	\$ 5,294,000	12.11%
600	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	\$ 519,000	\$ 4,739,000	10.95%
600	Scarcella Center	Scarcella Science & Tech. Ctr.	\$ 989,000	\$ 16,102,000	6.14%
400	Katy Mills Mall	Early Childhood Development	\$ 54,000	\$ 2,048,000	2.64%
300	Codwell Hall Campus	Codwell Hall Shower (Temp)	\$ 5,000	\$ 219,000	2.28%
700	Coleman Health Science Ctr.	Coleman Health Science Ctr.	\$ 623,000	\$ 37,081,000	1.68%
500	Eastside Campus	Eastside Annex	\$ 90,000	\$ 5,660,000	1.59%
100	Administration	Parking Structure	\$ 344,000	\$ 23,768,000	1.45%
500	Eastside Campus	Office City	\$ 35,000	\$ 2,571,000	1.36%
600	Alief Continuing Educ. Ctr.	Alief	\$ 133,000	\$ 9,780,000	1.36%
600	Gulfton Center Campus	Gulfton Center	\$ 92,000	\$ 7,577,000	1.21%
200	Willie Gay Hall	Willie Gay Hall	\$ 101,000	\$ 9,071,000	1.11%
500	Eastside Campus	Southeast Learning Hub	\$ 161,000	\$ 16,913,000	0.95%
200	Central Campus	Fine Arts Parking Structure	\$ 94,000	\$ 10,589,000	0.89%
300	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	\$ 16,000	\$ 1,824,000	0.88%
300	Codwell Hall Campus	Codwell Hall	\$ 126,000	\$ 15,162,000	0.83%
600	Southwest Center	Greenbriar Annex	\$ 28,000	\$ 3,848,000	0.73%
200	Americana Bldg	Americana Building	\$ 36,000	\$ 5,161,000	0.70%
300	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	\$ 52,000	\$ 7,613,000	0.68%
500	Eastside Campus	Felix Morales Building	\$ 68,000	\$ 11,311,000	0.60%
300	Codwell Hall Campus	NE Science and Tech. Bldg	\$ 45,000	\$ 10,020,000	0.45%
600	Missouri City Campus	Academic Ctr Sienna Plantation	\$ 35,000	\$ 10,409,000	0.34%
300	Codwell Hall Campus	Public Safety Institute	\$ 37,000	\$ 16,898,000	0.22%
600	Scarcella Center	SW Stafford Learning Hub	\$ 49,000	\$ 26,390,000	0.19%
300	Northline Center	Northline - New Academic Ctr.	\$ 38,000	\$ 21,121,000	0.18%
300	Codwell Hall Campus	Learning Hub at Northeast	\$ 28,000	\$ 16,859,000	0.17%
200	Central Campus	Learning Hub Science Building	\$ 24,000	\$ 20,448,000	0.12%
200	Central Campus	West Wing	\$ 4,000	\$ 10,199,000	0.04%
400	Spring Branch Campus	Commons / Bookstore	\$ -	\$ 1,515,000	0.00%
500	Eastside Campus	Felix Fraga Academic	\$ -	\$ 12,594,000	0.00%

SECTION 4

SUMMARY OF RECOMMENDATIONS AND ACTION PLAN

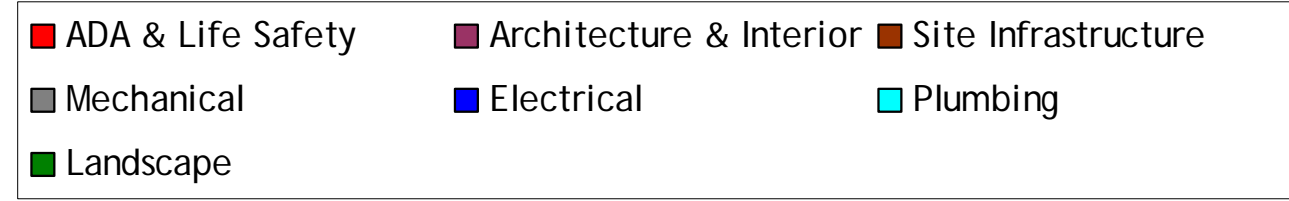
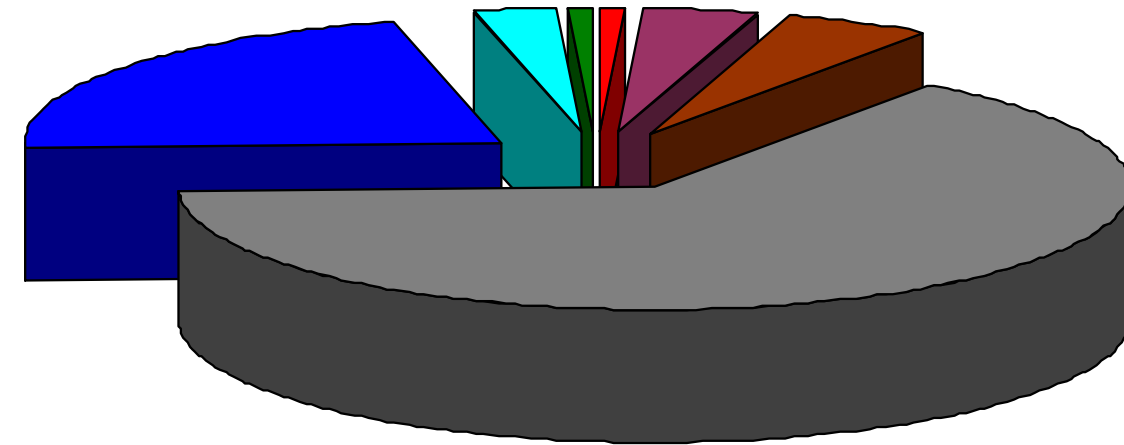
SECTION 4: SUMMARY OF RECOMMENDATIONS & ACTION PLAN

The existing Houston Community College (HCC) facilities conditions were assessed by the ESPA CORP team. The process started with retrieving the existing facilities data and information within HCC archives. Based on our experience and discussions with the HCC personnel observations and recommendations are presented for the facilities data acquisition, archival, and retrieval procedures. Also, a list was developed that identified the missing documentation of the existing facilities.

All the facilities within the HCC were assessed. The assessment was performed by systems (architectural, civil, MEP, landscape, etc.). Deficiencies in the facilities were identified by the systems and for the building components. A detailed budget cost estimate was developed for the identified deficiencies (repair cost). Also, a replacement value of the building was developed for all the HCC facilities. A ratio of the repair cost to the replacement value of the facility is reported as the Facility Cost Index (FCI), which describes the relative state of the building, categorized as Good, Fair, or Poor.

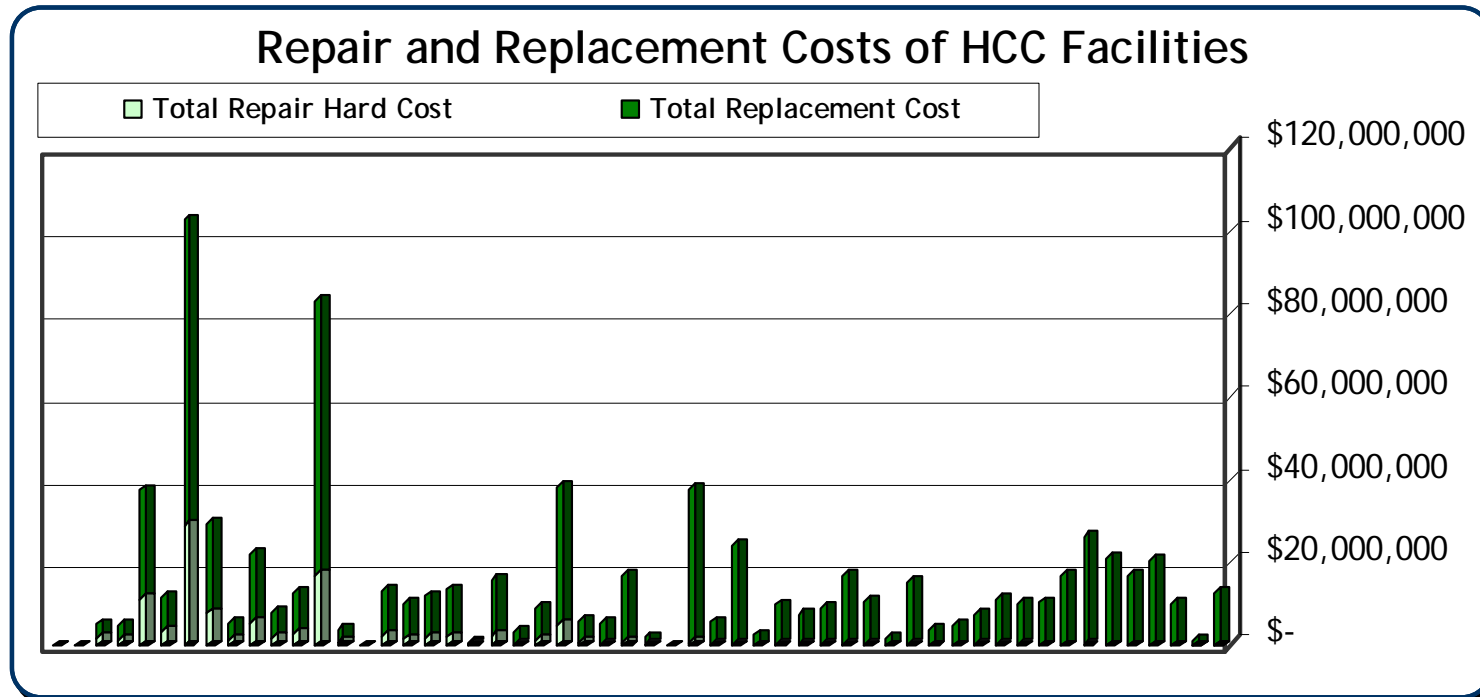
The total value of all the HCC facilities is approximately \$720 million. The total repair cost for all the identified deficiencies is about \$108 million. The repair cost for the mechanical systems is about \$70 million, which accounts for about 65% of the repair costs. The cost of repairs to the electrical systems is about \$23.4 million, which accounts for about 22% of the repair costs.

Total Repair Costs (in millions)



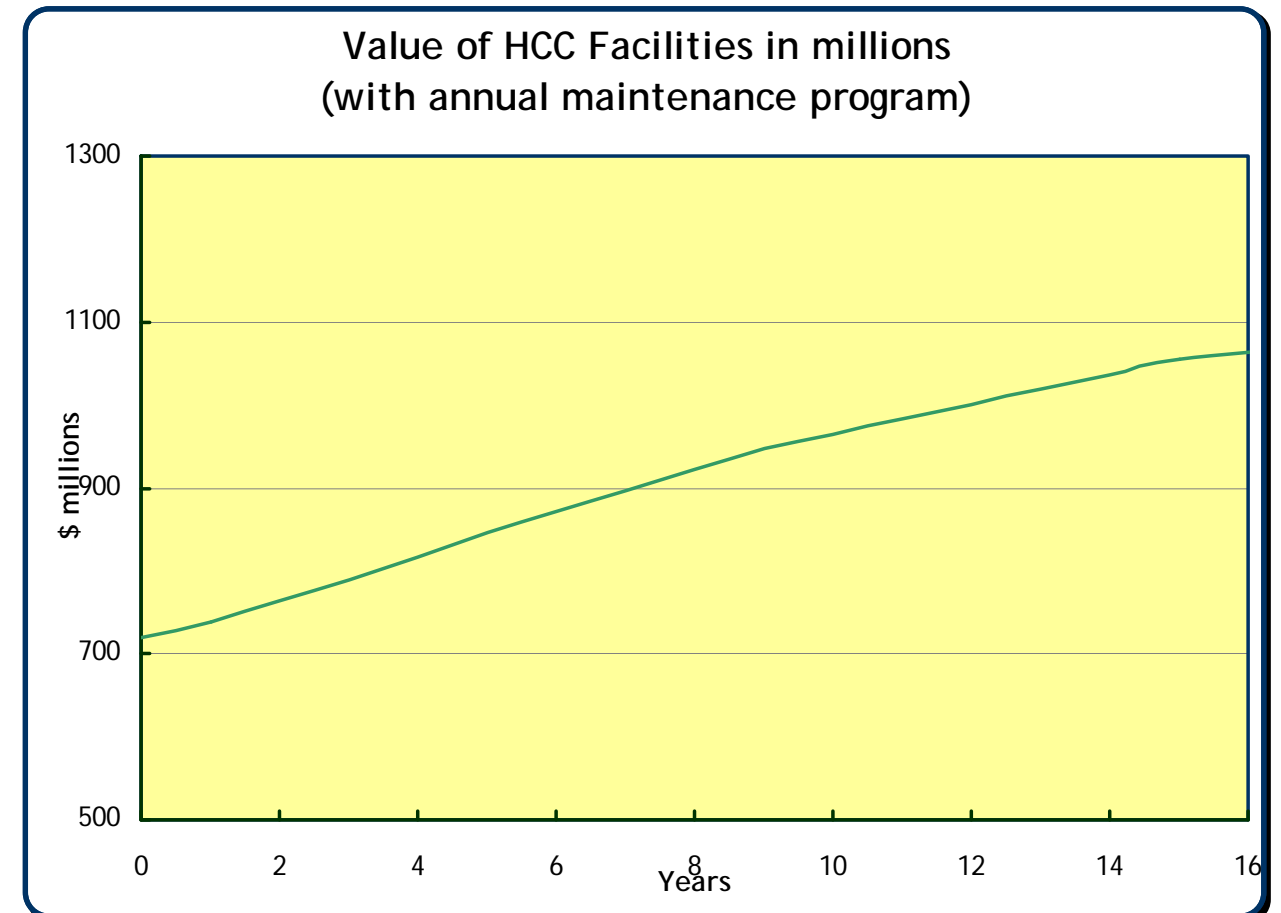
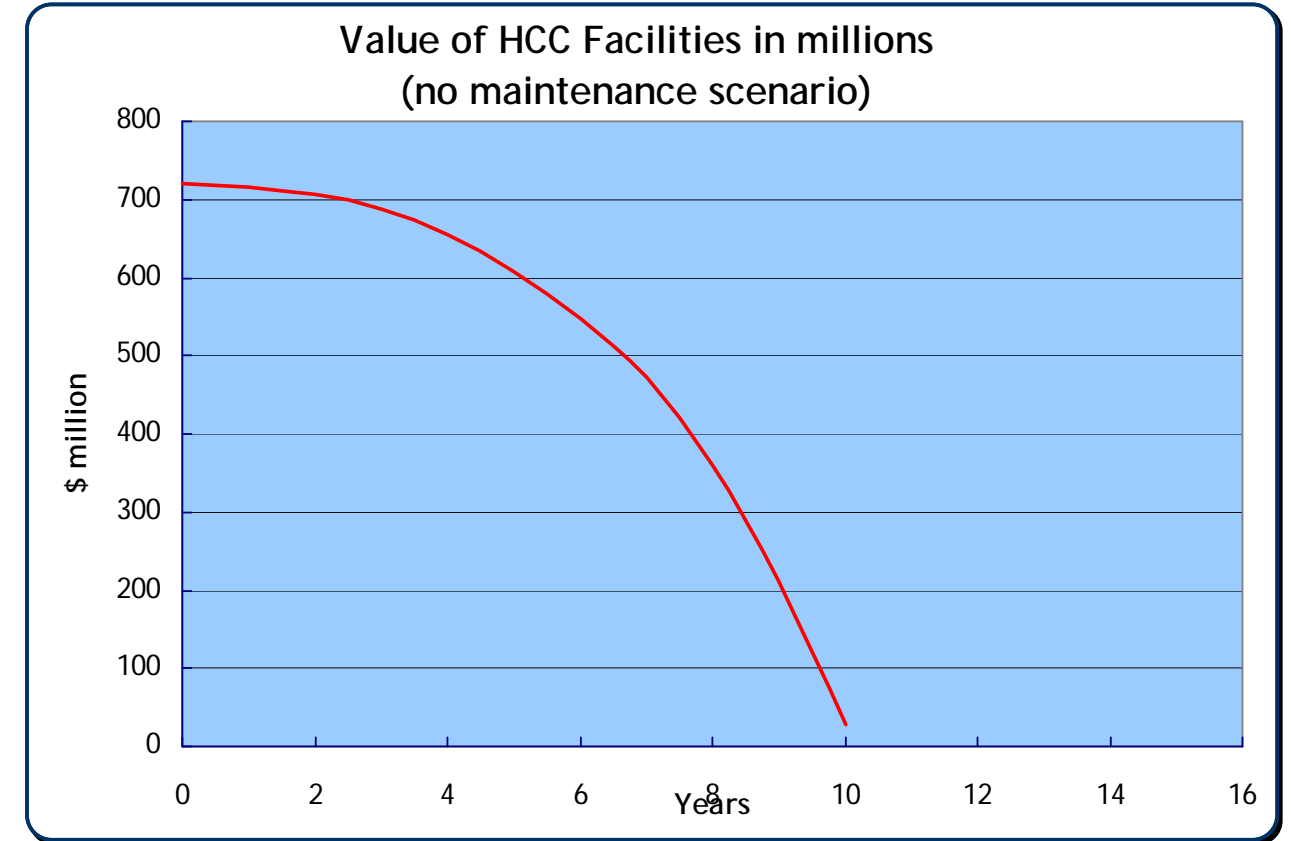
Facility Repair Aspect	Total Repair Costs (in millions)
ADA & Life Safety	\$ 1.00
Architecture & Interior	\$ 4.00
Site Infrastructure	\$ 5.40
Mechanical	\$ 70.00
Electrical	\$ 23.50
Plumbing	\$ 3.00
Landscape	\$ 1.00
Total Repair Cost	\$ 107.90

Repair and Replacement Costs of HCC Facilities



The key findings of this study are listed below:

- A review of the facilities data and information storage procedures revealed issues with the existing system and procedures within HCC. Recommendations are made to refine the existing practices that will enable efficient storing and retrieval of the facilities data and information.
- A list of missing facilities drawings and other information is presented in this report. We recommend that these drawings and information be completed to enable the facilities information archival to be complete and comprehensive.
- A total of 54 facilities were surveyed. The buildings were spread over 22 campuses. The total gross area of the buildings was approximately 4.1 million square feet. The buildings and component conditions were observed and the required repairs for each building were recorded.
- The field assessment team also interviewed, where possible, the facility maintenance and operations personnel and examined the maintenance records.
- The data on facilities and the recommended repairs are detailed in the text of this report and also presented in an electronic database. The total cost of repairs is about \$108 million.
- A majority of the repair costs is for the mechanical systems. Electrical systems repair is also a significant cost.
- A deferred maintenance budget and schedule is recommended that will enable HCC to complete all the identified repairs in four years and bring all the HCC facilities to standards.
- A replacement value for each of the facilities was developed based on 2009 dollars. The total value of HCC facilities is about \$720 million.
- Facilities require on-going maintenance and upkeep to maintain their functionality, intended use, and asset value. The existing HCC facilities require a budget of \$15 to \$28 million annually to maintain them to the present standards. The lack of an adequate level, well-planned and executed, maintenance program will reduce the value of the assets beyond their depreciation.
- Other issues identified with the facilities include:
 - Inadequate parking – there seems to be a need for a system wide parking plan combined with an implementation program for upgrading existing parking areas;
 - Building Signage - Increase, improve, and standardize campus and building way finding and signage;
 - Improve campus entry ways; use HCC facilities and buildings as a branding tool to improve visibility and identity;
 - Implement an electronic facilities data gathering, archival and retrieval system;
 - Incorporate and implement a periodic (4 or 5-year interval) facilities condition assessment update into the HCC budgeting process;



SECTION 5

ASSESSMENT REPORTS

System

Parking Structure	Page 5-1
System Building	Page 5-3

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
100	SYSP	Administration	Parking Structure	3220 Main St, 77002	2000	0	8	488,660	\$1,029,000	\$23,768,000	4.33%

Sitework / Landscape

Plant material along east side of parking garage is in poor condition. Planting beds require mulch to be placed within them. All mulch watering rings for the existing trees needs to be replaced. Street trees located on south side of garage need to be pruned. Sod needs to be replaced on north west corner. Irrigation system was not run during assessment.
 Sitework: Missing speed bumps and minor cracks in concrete pavement. General Rating 4.5

Building Description

The HCC System Administration parking structure is an 8-story parking garage. The garage is made of pre-cast concrete panels with a connector bridge to the existing administration building. Provide wind/rain screens at elevator lobbies to stop rain from blowing into lobbies to protect the equipment and building occupants. Elevator control panels missing Braille signage. Elevator #3 is not working correctly and is slow in responding to controls. Elevator delayed in opening and closing of doors.

Mechanical

Two DX Mechanical Units on the First Floor need to be replaced. Print Shop AHU needs to be replaced.

Electrical

Sitework / Landscape

Plumbing

No deficiencies found.

Life Safety - ADA - Hazmat

No deficiencies found.

Photographs		Location Map	
Date: 11-Jun-09	Date: 25-Sep-09		
Description: East elevation of Systems Parking Garage	Description: Typical elevator lobby in garage.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	100
Building Code	SYSP
Building Name	Parking Structure

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
12	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ 600.00	\$ 258.00	\$ -	\$ 858.00	\$ 90.50	\$ 1,086.00
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
12	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ 600.00	\$ 600.00	\$ -	\$ 1,200.00	\$ 100.00	\$ 1,200.00
Total								\$ 600.00	\$ 258.00	\$ -	\$ 858.00		\$ 2,286.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
100	SYSB	Administration	System Building	3100 Main St, 77002	1965	0	13	531,000	\$28,178,000	\$68,650,000	41.05%

Sitework / Landscape

Sitework: Minor cracks in concrete sidewalk. General Rating: 4

Building Description

The Systems Administration building is a 13-story building. HCC is located in a majority of the building including: Floors 1-4, 11-12 and the basement. St. Luke's Hospital shares the 2nd floor with HCC and occupies Floors 5, 6, and 8. Settlement Facility-Dow Coming Trust occupies Floor 7. Pros Revenue Management is on Floors 9 and 10. All floors have been remodeled before the tenants have moved in and are in very good condition. The 1st floor Lobby has cracked terrazzo floors throughout all corridors. The lobby also has cracked VCT in corridors. Initial review suggests floor settling along rear service corridor with no major damage occurring. The Kitchen area needs to have ceiling tile replaced in cooking areas with vinyl faced ceiling tile. The 2nd floor auditorium should have carpet replaced and/or maintained.

Mechanical

Though very well maintained most all equipment is original and needs to be replaced including: two main Chiller units; one smaller chiller unit; two generators; two boilers; one small AHU serving the 13th floor administration; VFD units on all floors and VAV boxes with electric heat.

Electrical

Switchgear needs updating. Two generators need to be evaluated for replacement. Basement Electrical Switchgear room sustained 3 feet of floodwater during Hurricane Ike, consider mitigation efforts for future storms.

Plumbing

Chilled water and hot water pumps should be replaced.

Life Safety - ADA - Hazmat

Life Safety fixtures were adequate.

Photographs		Location Map	
Date: 11-Jun-09	Date: 25-Sep-09		
Description: Southwest corner of System Building	Description: 1st Floor elevator lobby		



HCC Facilities Assessment
Cost Estimates by Deficiencies



College Code	100
Building Code	SYSB
Building Name	System Building

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Ext. Mat.	Ext. Labor	Ext. Equip.	Ext. Total	Total O&P	Ext. Total O&P
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
500	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ 1,305.00	\$ 2,195.00	\$ 1,015.00	\$ 4,515.00	\$ 11.95	\$ 5,975.00
500	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 1,100.00	\$ 305.00	\$ -	\$ 1,405.00	\$ 3.37	\$ 1,685.00
4000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 5,440.00	\$ 2,560.00	\$ -	\$ 8,000.00	\$ 2.56	\$ 10,240.00
1000	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 43,500.00	\$ 2,030.00	\$ -	\$ 45,530.00	\$ 51.18	\$ 51,180.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 51,345.00	\$ 7,090.00	\$ 1,015.00	\$ 59,450.00		\$ 69,080.00

Central College

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College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	AMER	Americana Bldg	Americana Building	811 Dallas St, 77002	----	0	1 1/2	30,000	\$36,000	\$5,161,000	0.70%

Sitework / Landscape

Landscape: N/A
Sitework: N/A

Building Description

The Americana Building has one and a half floors leased out by HCC in downtown Houston. The 7th floor is leased and used for classrooms and computer training. Half of the 6th floor is leased for massage therapy training classes. These spaces were built-out within the last five years. Restrooms need to be updated to ADA compliance for turning radiuses, approaches, and accessories. See ADA Code of Standards sections 4.16.2 and 4.19.3 for clear floor space.

Mechanical

Mechanical Systems for this facility are being maintained by the building owner CBRE and not HCC.

Electrical

Electrical Systems for this facility are being maintained by the building owner CBRE and not HCC.

Plumbing

Plumbing Systems for this facility are being maintained by the building owner CBRE and not HCC.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16.2 and 4.19.3 for clear floor space.

Photographs		Location Map	
Date: 11-Jun-09	Date: 2-Jul-09		
Description: Southwest elevation of Americana Building.	Description: Typical restroom with non ADA compliance.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	AMER
Building Name	Americana Building

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
3	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ 18,000.00	\$ 18,000.00	\$ -	\$ 36,000.00	\$ 12,000.00	\$ 36,000.00
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -		\$ 36,000.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	BSCC	Central Campus	Business Center	1215 Holman St B, 77004	1982	0	2	36,680	\$1,872,000	\$6,191,000	30.24%

Sitework / Landscape
Replace broken sidewalk and curb located in the southwest corner of the building. Heavy debris was found in the storm sewer system, with several inlets completely filled. Junction boxes were showing signs of wear as the brick mortar needs to be renewed.

Building Description
The Business Center is an elevated two-story building over a parking lot. The ceiling tiles and grid need to be replaced in all classrooms. Repair and paint all gypsum board walls in all classrooms. Repair VCT floors in all classrooms. Repair and refinish all sealed concrete floors where needed. Repair terrazzo flooring at empty lobby. Remove existing stair handrails and guardrails and replace with ADA compliant railing throughout. Existing lighting in corridors is needs to be reviewed to meet current requirements. Repair walls at exterior window head and sills. and verify exterior window system for leaks.

Mechanical
Rooftop Units need to be replaced.

Electrical
Electrical switchgear needs to be updated. No emergency power for this facility.

Plumbing
Some plumbing fixtures should be updated. Restrooms need to be updated for ADA compliance.

Life Safety - ADA - Hazmat
Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 14-Sep-09	Date: 2-Jul-09		
Description: South elevation of existing building.	Description: Classroom with water penetration at window head and sills.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	BSCC
Building Name	Business Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
500	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ 1,305.00	\$ 2,195.00	\$ 1,015.00	\$ 4,515.00	\$ 11.95	\$ 5,975.00
34000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 74,800.00	\$ 20,740.00	\$ -	\$ 95,540.00	\$ 3.37	\$ 114,580.00
34000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 46,240.00	\$ 21,760.00	\$ -	\$ 68,000.00	\$ 2.56	\$ 87,040.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
30000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 3,600.00	\$ 10,500.00	\$ -	\$ 14,100.00	\$ 0.69	\$ 20,700.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
64	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ 544.00	\$ 678.40	\$ -	\$ 1,222.40	\$ 26.50	\$ 1,696.00
2000	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ 1,500.00	\$ 0.90	\$ 1,800.00
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
12	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ 8,400.00	\$ 8,400.00	\$ -	\$ 16,800.00	\$ 1,400.00	\$ 16,800.00
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 126,489.00	\$ 55,873.40	\$ 1,015.00	\$ 184,877.40		\$ 248,591.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	CRAW	Central Campus	Crawford Annex	3412 Crawford St, 77004	----	0	1	1,200	\$51,000	\$272,000	18.75%

Sitework / Landscape
Sitework: No Access

Building Description
The Crawford Annex building is a one-story wood frame building. The ceiling tiles and grid need to be replaced in meeting rooms, offices, and storage rooms. Paint all walls in classrooms, repair door that is off track in break room. Remove and replace carpet and VCT floor tiles in offices and restrooms. The main entry door needs to be repainted.

Mechanical
Split DX system with two- four ton units. Both units are over 15 years old and need to be replaced.

Electrical
Electrical switchgear needs to be updated.

Plumbing
No plumbing deficiencies were noted.

Life Safety - ADA - Hazmat
Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 25-Sep-09	Date: 9-Jul-09		
Description: South elevation of existing building	Description: Interior of classroom		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	CRAW
Building Name	Crawford Annex

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
600	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 1,320.00	\$ 366.00	\$ -	\$ 1,686.00	\$ 3.37	\$ 2,022.00
1200	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 1,632.00	\$ 768.00	\$ -	\$ 2,400.00	\$ 2.56	\$ 3,072.00
70	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 3,045.00	\$ 142.10	\$ -	\$ 3,187.10	\$ 51.18	\$ 3,582.60
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
4800	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 576.00	\$ 1,680.00	\$ -	\$ 2,256.00	\$ 0.69	\$ 3,312.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 6,573.00	\$ 2,956.10	\$ -	\$ 9,529.10		\$ 11,988.60

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	CIC	Central Campus	Curriculum Innovation Center	1215 Holman St C, 77004	----	0	1	2,000	\$121,000	\$454,000	26.65%

Sitework / Landscape
Sitework: N/A, see J Don Boney Building and Business Career Center

Building Description
The Curriculum Innovation Center (CIC) is an one-story brick building connecting the J. Don Boney and Business Career Center. The interiors have recently been updated. The ceiling tiles and grid need to be updated in offices and hallways. Hairline cracks in terrazzo at entry lobby needs to be repaired.

Mechanical
Rooftop Units need to be replaced.

Electrical
Electrical switchgear needs to be updated. No emergency power for this facility.

Plumbing
Some plumbing fixtures should be updated. Restrooms need to be updated for ADA compliance.

Life Safety - ADA - Hazmat
Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 25-Sep-09	Date: 25-Sep-09		
Description: South elevation of existing building	Description: Entry lobby with cracked terrazzo		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	CIC
Building Name	Curriculum Innovation Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
50	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ 130.50	\$ 219.50	\$ 101.50	\$ 451.50	\$ 11.95	\$ 597.50
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
2000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 2,720.00	\$ 1,280.00	\$ -	\$ 4,000.00	\$ 2.56	\$ 5,120.00
70	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 3,045.00	\$ 142.10	\$ -	\$ 3,187.10	\$ 51.18	\$ 3,582.60
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 5,895.50	\$ 1,641.60	\$ 101.50	\$ 7,638.60		\$ 9,300.10

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	EDC	Central Campus	Educational Development Center	3214 Austin St, 77004	----	0	2	40,845	\$1,206,000	\$7,166,000	16.83%

Sitework / Landscape

New turf needs to be installed in all shaded areas. Existing children's courtyard needs major work, little to no play activities within existing courtyard, along with shade for the users. Weeds need to be removed from existing planting beds. Central courtyard has potential but needs major work. Irrigation system was not run during assessment as the PVB system was currently broken.
 Sitework: Striping almost non-existent in some areas. Light debris in storm inlets. Inlets need pipes cut flush with wall. Light cracking on concrete and minor breaks on curb. General Rating 4

Building Description

The Educational Development Center building is a two-story building with recent additions and updated interiors. Classrooms, offices and hallways not updated need to have ceiling tiles, ceiling grid and carpet replaced to match updated building throughout. Paint gypsum board walls in classrooms. Exterior classroom walls need to be patched and painted due to water infiltration. Head and sill in exterior classrooms at all windows need gypsum board patched, painted, and repaired.

Mechanical

Four Rooftop Units were past life expectancy and need to be replaced.

Electrical



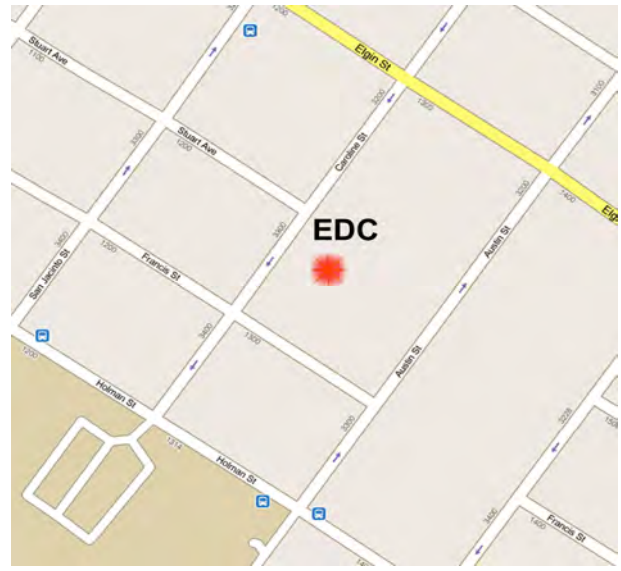
Electrical switchgear needs to be updated.

Plumbing

No plumbing deficiencies were noted.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory.

Photographs		Location Map	
Date:	25-Sep-09	Date:	8-Jul-09
Description:	South east elevation of existing building	Description:	Interior of reception lobby
			
			



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	EDC
Building Name	Educational Development Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
800	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ 280.00	\$ 2,728.00	\$ -	\$ 3,008.00	\$ 5.89	\$ 4,712.00
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
10000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 13,600.00	\$ 6,400.00	\$ -	\$ 20,000.00	\$ 2.56	\$ 25,600.00
1000	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 43,500.00	\$ 2,030.00	\$ -	\$ 45,530.00	\$ 51.18	\$ 51,180.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
5000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 600.00	\$ 1,750.00	\$ -	\$ 2,350.00	\$ 0.69	\$ 3,450.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 57,980.00	\$ 12,908.00	\$ -	\$ 70,888.00		\$ 84,942.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	FAC	Central Campus	Fine Arts Center	3517 Austin St, 77004	1986	0	3	75,000	\$2,604,000	\$13,242,000	19.66%

Sitework / Landscape
Current cross-walk on west side does not align with pedestrian flow. Re-sod dead areas in shades areas along the roadway. Existing light fixtures need to be replaced with College standard. Planting bed on east side needs to be filled in with matching plant material. Dead material to be removed and replaced.

Building Description
The Fine Arts Center building is a three-story building with pre-cast panels and steel frame structure. Recommendations are as follows: Replace all ceiling tiles and grid throughout the building. Gypsum board walls need to be verified to be patched and painted in classrooms and music practice rooms. Head and sill in exterior classrooms at all windows need gypsum board patched, painted, and repaired. Update and clean VCT flooring in classrooms. Replace carpet in offices and classrooms. Repair hairline cracks in all terrazzo floors in hallways on first floors.

Mechanical
Air Handling Units are showing wear and need to be replaced.

Electrical
Electrical switchgear needs to be updated.

Plumbing
Restrooms need ADA upgrades.

Life Safety - ADA - Hazmat
Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 25-Sep-09	Date: 8-Jul-09		
Description: North elevation of existing building.	Description: Typical restroom needing updating for ADA compliance.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	FAC
Building Name	Fine Arts Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
1000	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ 2,610.00	\$ 4,390.00	\$ 2,030.00	\$ 9,030.00	\$ 11.95	\$ 11,950.00
40000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 88,000.00	\$ 24,400.00	\$ -	\$ 112,400.00	\$ 3.37	\$ 134,800.00
75000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 102,000.00	\$ 48,000.00	\$ -	\$ 150,000.00	\$ 2.56	\$ 192,000.00
4500	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 195,750.00	\$ 9,135.00	\$ -	\$ 204,885.00	\$ 51.18	\$ 230,310.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
40000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 4,800.00	\$ 14,000.00	\$ -	\$ 18,800.00	\$ 0.69	\$ 27,600.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 393,160.00	\$ 99,925.00	\$ 2,030.00	\$ 495,115.00		\$ 596,660.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	FACP	Central Campus	Fine Arts Parking Structure	3517 Austin St, 77004	1986	0	5	213,900	\$94,000	\$10,394,000	0.90%

Sitework / Landscape
 Need to fill in Indian Hawthorn along perimeter, removed Ruellia and Aztec Grass. Existing security gates do not provide adequate security for campus. Re-finish cross-walk with either colored concrete or brick along west side to create presence. Plastic barriers along west side could be replaced with ornamental iron to match rest of campus. Enclose trash area on east side. Existing irrigation controller is broken and needs to be replaced.
 Sitework: N/A

Building Description
 The Fine Arts Parking Structure building is a 5-story parking garage constructed of pre-cast concrete panels. Levels 1 thru 3 were built in late 80s. Levels 4 and 5 were built in 2004. The Fine Arts Parking Structure Building is in good condition.

Mechanical
 No deficiencies found.

Electrical
 Electrical switchgear needs to be updated, except for the lighting/dimming system which was replaced recently. Lightning Protection system should be added to this facility.

Plumbing
 No deficiencies found.

Life Safety - ADA - Hazmat
 Life Safety fixtures were satisfactory.

Photographs		Location Map	
Date: 9-Jul-09	Date: 9-Jul-09		
Description: Entrance to parking garage on the south elevation.	Description: Elevator and stair landing area.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	FACP
Building Name	Fine Arts Parking Structure

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -		\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	HEINEN	Central Campus	Heinen Theater	3517 Austin St, 77004	1921	0	3	18,000	\$837,000	\$3,050,000	27.44%

Sitework / Landscape

Existing Live Oak canopies on west side are blocking view of historical building architecture. Building could use formal planting at entry. Existing walls within south courtyard need to be re-finished and painted. Dead trees and plant material needs to be removed and replaced. Need to provide formal entry to stage entry - excellent opportunity within courtyard.
 Sitework: Concrete sidewalk and curb to the north of the building are experiencing heavy cracking, and portions of curb are missing. Needs HCC Signage @ Austin St. General Rating 5

Building Description

The Heinen Theater is a 2 -1/2 story brick building and is registered for historical preservation. Building is in good condition, but needs to be maintained to preserve historical value and updated. Remove/replace damaged ceiling tiles and grid throughout the auditorium and protect historic ceiling. Handicap lifts are not functional. Repair and paint all walls at the mezzanine level; repair gypsum board walls as needed throughout the auditorium, mezzanine, and stage area. Remove/replace wood floors at the costume storage room. Repair damaged plaster walls at both stairs due to water damage. Repair and repoint CMU walls as needed and fill cracks at stage area. Stairs and handrails need to be ADA compliant. Sound room needs to be ADA compliant. Redesign all Men's and Women's restrooms and dressing rooms to be ADA compliant. Repair accordion wall and emergency fire door at the stage. Repair exterior weathered bricks, stone and concrete for historical preservation. Building upgrades should comply with regulations given by the Historic Registry.

Mechanical

AHU above stage area needs to be replaced. Motor for the handicapped lift to lower level needs to be replaced.

Electrical

Electrical switchgear needs to be updated, except for the lighting/dimming system which was replaced recently. Lightning Protection system should be added to this facility.

Plumbing

Women's restroom on lower level sanitary sewer backs up and needs to be repaired. Restrooms need ADA upgrades.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory. See ADA Code of Standards Section 4.1.7 for Historic Preservation, Section 4.2 for Reach Ranges, Section 4.9 for Stairs, and Section 4.16 through 4.19 for Restrooms.

Photographs		Location Map
Date: 7-Jul-09 Description: Northwest elevation of existing building.	Date: 7-Jul-09 Description: Typical restroom needing updating for ADA compliance.	

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	JDB	Central Campus	J. Don Boney Building	1215 Holman St A, 77004	1983	0	2	35,000	\$935,000	\$6,649,000	14.06%

Sitework / Landscape

Sitework: Debris in most storm sewer inlets. Light fading of striping and minor chips on concrete pavement. General Rating: 4. Landscaping: N/A

Building Description

The J. Don Boney building is an elevated two-story building over a parking lot. The building has undergone minor renovations within the last 10-15 years. The ceiling tiles and grid need to be replaced in all classrooms. Repair and paint all gypsum board walls in all classrooms. Repair VCT floors in all classrooms. Repair terrazzo flooring at entry lobby. Remove existing stair handrails and guardrails and replace with ADA compliant railing throughout. Existing lighting in corridors is needs to be reviewed to meet current requirements. Repair walls at exterior window head and sills. and verify exterior window system for leaks. Replace all 4" rubber wall base throughout the building in its entirety.

Mechanical

Rooftop Units need to be replaced.

Electrical

Electrical switchgear needs to be updated. No emergency power for this facility.

Plumbing

Some plumbing fixtures should be updated. Restrooms need to be updated for ADA compliance.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 14-Sep-09	Date: 7-Jul-09		
Description: South elevation of existing building	Description: Classroom with water penetration and head and sills		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	JBW	Central Campus	J.B. Whitely Bldg.	1301 Alabama St, 77004	1979	0	2	102,000	\$5,439,000	\$15,979,000	34.04%

Sitework / Landscape

No perimeter parking lot shrubs. Need to create sense of place and arrival to campus along south side of parking lot - at the intersection. Need to weed, remove dead plant material and replace along front entry. Wedelia to be filled in at drop-off area. No exterior lights along drop-off area. No site furnishings at main entry. Need to replace sod in all shaded area.
 Sitework: Broken sidewalk along road. Asphalt pavement on north side has potholes that need patching. Light cracking on Westside concrete parking lot and light fading on striping. Full capacity of parking lots. General Rating 3

Building Description

The J.B. Whitely building is a two-story brick veneer building. The building interiors were recently updated due to damage from Hurricane Ike. Remove and replace damaged ceiling tiles and grid in second floor classrooms. Not all tiles were replaced since hurricane damage. Gypsum board walls need to be patched and painted in classrooms and library. Update and replace VCT and carpet flooring in classrooms and offices. Repair cracked terrazzo flooring in corridors. Remove existing stair handrails and guardrails and replace with ADA compliant railing throughout. Roof at terrace does not have the required minimum of 1/4" slope to drain water off the roof properly. Building settling: signs of stress in slab/wall at Men's restrooms and main entry.

Mechanical

Chiller and five AHU's are original and need replacement. Exhaust system on roof needs to be replaced. Elevator on south side of building needs to be replaced. Paint booth in Painting Classroom needs to be replaced. Welding shop needs new ventilation and air compressor systems.

Electrical

Electrical switchgear needs to be updated. Lightning Protection system should be added to this facility. Building has no emergency power.

Plumbing

Lower level sanitary sewer is not functioning properly. Restrooms need ADA upgrades. Oxygen and Natural Gas valves in the Welding shop need to be replaced.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory but more need to be added and fixtures should be upgraded. See ADA Code of Standards sections 4.15 through 4.19.

Photographs		Location Map
Date: 14-Sep-09 Description: South elevation of existing building.	Date: 25-Jun-09 Description: Replace ceiling tile and verify leak in corridor.	

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	SJAC	Central Campus	San Jacinto Memorial	1300 Holman St, 77004	1913	0	3	172,000	\$11,327,000	\$25,464,000	44.48%

Sitework / Landscape

Replace dead plant material in architectural planters. Tend to dying Asian Jasmine along front entry. West courtyard is not accessible. Replace all dead trees and plant material along east side of the building. Change existing site furnishing in south courtyard to College standard. Refer to irrigation field notes for assessment.
 Sitework: Concrete parking lot on north side cracking and storm sewer system undersized. Asphalt parking lot on Southside needs to be replaced. Localized flooding on southwest side of building. Brick sanitary manholes need to be resealed. Cracking and broken sidewalks. General Rating 2

Building Description

The San Jacinto Memorial is a three-story building that was originally built in 1913 with many additions. The overall building is in need of major repairs for mechanical systems, window systems, and interior improvements (finishes, ADA). The ceiling tiles and grid need to be replaced throughout the building. Repair and paint all gypsum board walls in classrooms, corridors, and offices. Repair VCT floors in all classrooms. Repair and refinish all sealed concrete floors where needed. Repair terrazzo flooring at entry corridors, and hallways. Remove existing stair handrails and guardrails and replace with ADA compliant railing at all stairs. Repair walls at exterior window head and sills and verify exterior window system for leaks.

Mechanical

Two temporary Trane Chillers on trailers at the SW corner of the building should be replaced by an additional chiller in the new Central Plant. VAV boxes in classrooms are old and need to be replaced. Gymnasium heating system on roof needs to be replaced.

Electrical

Electrical switchgear needs to be updated. No generator for this facility, needs to be added. Lightning protection needs to be added.

Plumbing

Restrooms need ADA upgrades.

Life Safety - ADA - Hazmat

Life Safety fixtures were satisfactory but more need to be added and fixtures should be upgraded. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 14-Sep-09	Date: 24-Jun-09		
Description: North elevation of existing building.	Description: Patch leak in ceiling, replace ceiling tiles, and replace carpet - typical in all classrooms.		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	LHSB	Central Campus	Learning Hub Science Building	1300 Holman St, 77004	2008	0	4	120,000	\$24,000	\$19,966,000	0.12%

Sitework / Landscape
 Replace dead street trees along north side. Replace dead plant material in front of main building entry. Adjust grade in all front entry beds, currently approx. 4" below grade. Need building signage - typical for a majority of campus. Need to provide College standard site furnishing in established seating areas. Place mulch watering rings along all newly installed trees. Adjust existing light fixtures along east side of building. Refer to irrigation site assessment for irrigation notes.
 Sitework Two inlets need to be lowered and have the surroundings sloped to drain. General Rating 5

Building Description
 The Learning Hub Science Building is a four-story building that opened in 2008. The building is a concrete and steel structure, with exterior curtain wall, metal panels and masonry. Upon inspection, this building has no issues with finishes and/or equipment. The building was still under warranty at the time of inspection.

Mechanical
 No deficiencies were noted.

Electrical
 No deficiencies were noted.

Plumbing
 No deficiencies were noted.

Life Safety - ADA - Hazmat
 No deficiencies were noted.

Photographs		Location Map	
Date: 14-Sep-09	Date: 26-Jun-09		
Description: West elevation of new building	Description: Seating area adjacent to the entry lobby.		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	SIS	Central Campus	Staff Instructional Services	3821 Caroline St, 77004	1961	0	2	21,800	\$496,000	\$3,907,000	12.70%

Sitework / Landscape

Plant material along west parking lot needs to be replaced. Need to provide wheel stops within existing parking lot. Replace all dead plant material due to irrigation system not functioning. Need to provide prominent building signage - typical for campus. Irrigation system was not run during this assessment as it was not functioning properly.
 Sitework: Light debris in storm system. Debris in sanitary manhole on Southside of building. General Rating 4

Building Description

The Staff Instructional Services building is a two-story pre-engineered metal building. No windows on the exterior of the building. The building has undergone minor renovations within the last 10-15 years. The ceiling tiles and grid need to be replaced in all classrooms and offices. Repair and paint all gypsum board walls in all classrooms, hallways, and offices. Repair VCT floors throughout the entire building. Remove and replace carpet in administration offices. Remove and replace all 4" rubber wall base in classrooms and offices. Remove existing stair handrails and guardrails and replace with ADA compliant railing throughout.

Mechanical

Chiller needs to be replaced. AHU's need to be replaced. Mechanical rooms need A/C coverage.

Electrical

Electrical switchgear very old and in need of replacement. No fire alarm in this building. No lightning protection and needs to be added.

Plumbing

All Restrooms and fixtures need to be updated. No sprinklers and need to be added.

Life Safety - ADA - Hazmat

New Life safety adequate but need to have new fixtures. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map	
Date: 14-Sep-09	Date: 8-Jul-09		
Description: North elevation of existing building.	Description: Typical restroom needing updating for ADA compliance.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	SIS
Building Name	Staff Instructional Services

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
15000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 33,000.00	\$ 9,150.00	\$ -	\$ 42,150.00	\$ 3.37	\$ 50,550.00
20000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 27,200.00	\$ 12,800.00	\$ -	\$ 40,000.00	\$ 2.56	\$ 51,200.00
125	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 5,437.50	\$ 253.75	\$ -	\$ 5,691.25	\$ 51.18	\$ 6,397.50
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
25000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 3,000.00	\$ 8,750.00	\$ -	\$ 11,750.00	\$ 0.69	\$ 17,250.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
3000	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ 2,790.00	\$ 2,910.00	\$ -	\$ 5,700.00	\$ 2.53	\$ 7,590.00
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
10	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ 7,000.00	\$ 7,000.00	\$ -	\$ 14,000.00	\$ 1,400.00	\$ 14,000.00
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 71,427.50	\$ 33,863.75	\$ -	\$ 105,291.25		\$ 146,987.50

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	THT1	Central Campus	Theater One	3517 Austin St, 77004	1923	0	2	21,900	\$1,560,000	\$3,524,000	44.27%

Sitework / Landscape

Sitework: Concrete sidewalk and curb to the north and east of the building are experiencing heavy cracking, and portions of curb are missing. General Rating 5

Building Description

The Theater One building is 2 1/2 story brick veneer building. Building is in good condition, but needs to be maintained to preserve historical value and updated. Remove/replace damaged ceiling tiles and grid in all offices and theatre and protect historic ceiling. Handicap lifts are not functional and need to be replaced with modern lifts. Stairs and handrails need to be ADA compliant. Redesign all Men's and Women's restrooms and dressing rooms to be ADA compliant. Repair and paint all walls in offices, storage areas, closets, and restrooms. Repair cracked terrazzo floors at entry lobby and connecting lobby from Fine Arts Center.

Mechanical

Building switched to chilled water and hot water from new Central Plant. Since the change over the Mechanical System is not adequate to cool the building with full audience and lighting heat load. AHU's need to be increased in size to handle heat loads. Elevator needs adjustment.

Electrical

Electrical switchgear very old and in need of replacement. No lightning protection, needs to be added.

Plumbing

Restrooms need to be updated to ADA standards and all new fixtures. No sprinklers, need to be added.

Life Safety - ADA - Hazmat

New Life safety fixtures have been installed but only on a One-to-One basis due to historical nature of the building. See ADA Code of Standards Section 4.1.7 for Historic Preservation, Section 4.2 for Reach Ranges, Section 4.9 for Stairs, and Section 4.16 through 4.19 for Restrooms.

Photographs		Location Map	
Date: 25-Sep-09	Date: 8-Jul-09		
Description: West elevation of existing building	Description: Typical restroom needing upgrades for ADA compliance.		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	WW	Central Campus	West Wing	1300 Holman St, 77004	----	0	3	60,500	\$4,000	\$10,199,000	0.04%

Sitework / Landscape

Sitework: N/A

Building Description

Building to be demolished.

Mechanical

Building to be demolished.

Electrical

Building to be demolished.

Plumbing

Building to be demolished.

Life Safety - ADA - Hazmat

Building to be demolished.

Photographs				Location Map			
Date:	14-Sep-09	Date:					
Description:	East elevation	Description:					



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	WW
Building Name	West Wing

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -		\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	GAYHL	Willie Gay Hall	Willie Gay Hall	1990 W. Airport Blvd, 77004	2003	0	1	39,000	\$99,000	\$6,821,000	1.45%

Sitework / Landscape

Adjust uplight in building signage. Need to prune plant material surrounding building sign. All planting beds to be re-mulched. Front entry needs typical College site furnishings. Bullrock in back of building does not match bullrock at the front of the building. Parking lot has no shade trees within it. Existing turf needs tending to, full of weeds and overgrown. Mulch watering rings needs to be thinned out. Refer to irrigation site assessment notes for irrigation field report.
 Sitework: The inlets hold water and the debris in the storm sewer system needs to be removed. The striping of the parking lots needs to be repainted. Sanitary manhole shows signs of infiltration and needs a new cone. Overall Rating: 4.5

Building Description

The Willie Gay Hall is a one-story brick veneer building. Touch-up paint is needed in all classrooms and offices. Provide exhaust fan and ventilation for Snack Bar/ Lounge.

Mechanical

Observed Outside Air unit turned off, should not be operated in this manner.

Electrical

No deficiencies noted.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

No deficiencies noted.

Photographs				Location Map	
Date:	11-Jun-09	Date:			
Description:	North elevation from W. Airport.	Description:			



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	200
Building Code	GAYHL
Building Name	Willie Gay Hall

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
10000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 1,200.00	\$ 3,500.00	\$ -	\$ 4,700.00	\$ 0.69	\$ 6,900.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
3	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ 1,980.00	\$ 435.00	\$ -	\$ 2,415.00	\$ 953.00	\$ 2,859.00
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 3,180.00	\$ 3,935.00	\$ -	\$ 7,115.00		\$ 9,759.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

Northeast College

Automotive Technical Training Center, Building A	Page 5-37
Automotive Technical Training Center, Building A	Page 5-39
Codwell Hall	Page 5-41
Codwell Hall Shower (Temp)	Page 5-43
Learning Hub At Northeast	Page 5-45
Northline – New Academic Center	Page 5-47
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Public Safety Institute	Page 5-51
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Northeast Science and Technology Building	Page 5-55
Physical Plant (Science Storage Building)	Page 5-57

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	TRANSA	Automotive Tech. Training Ctr.	Automotive Tech. Training Ctr.	4638 Airline Dr., 77022	----	0	1	53,658	\$3,970,000	\$7,793,000	50.94%

Sitework / Landscape

Close curb cut on north west side. Sidewalk along front needs to be extended to bus stop. All site furnishings need to be replaced with College standard furnishings. Parking lot perimeter fencing needs to be replaced - highly recommend installing a solid fence along perimeter. Planting beds needs to be re-mulched. No street trees along north side of building. No irrigation on-site. Sitework: The parking lots shows sign of cracking and the joints between the pavement are bad. Broken curb throughout. The sidewalk in front of the building needs to be raised. The storm sewer inlets need the inverts poured, and one inlet grate needs to be replaced. Overall Rating: 3

Building Description

The Training Center is a two-story building and garage/ body shop. The exterior of the building is in good condition. The vinyl flooring needs to be replaced throughout the building at all corridors and classrooms. The entry door and storefront needs new hardware and threshold replaced. The garage/ body shop needs the concrete floor resealed and striped. The dressing/locker room shower needs to be updated and made ADA compliant.

Mechanical

Six Unit Heaters in auto shop need to be replaced. Twelve DX Rooftop units need to be replaced. Window unit for office over restrooms needs to be replaced.

Electrical

Electrical switchgear very old and in need of replacement. Fire alarm system needs to be replaced. No lightning protection, needs to be added.

Plumbing

Restrooms need to be updated to ADA standards and all new fixtures. No sprinklers, need to be added.

Life Safety - ADA - Hazmat

Life safety adequate but need to have new fixtures. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map
Date: 14-Jun-09 Description: North elevation of existing building.	Date: 14-Jun-09 Description: Flooring at entry lobby needs to be replaced.	

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	TRANSB	Automotive Tech. Training Ctr.	Automotive Tech. Training Ctr. Bldg. B	4638 Airline Dr., 77022	----	0	1	18,401	\$873,000	\$2,745,000	31.80%

Sitework / Landscape

Close curb cut on north west side. Sidewalk along front needs to be extended to bus stop. All site furnishings need to be replaced with College standard furnishings. Parking lot perimeter fencing needs to be replace - highly recommend installing a solid fence along perimeter. Planting beds needs to be re-mulched. No street trees along north side of building. No irrigation on-site. Sitework: The parking lots shows sign of cracking and the joints between the pavement are bad. Broken curb throughout. The sidewalk in front of the building needs to be raised. The storm sewer inlets need the inverts poured, and one inlet grate needs to be replaced. Overall Rating: 3

Building Description

The Training Center is a smaller garage/ body shop on the same campus as Training Center A. The exterior of the building is in good condition. The garage/ body shop needs the concrete floor resealed and striped. Restrooms need to be updated.

Mechanical

Interior AHU and two exterior condenser units need to be replaced.

Electrical

Electrical switchgear very old and in need of replacement. Fire alarm system needs to be replaced. No lightning protection, needs to be added.

Plumbing

Restrooms need to be updated to ADA standards and all new fixtures. No sprinklers, need to be added.

Life Safety - ADA - Hazmat

Life safety adequate but need to have new fixtures. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map
Date: 14-Jul-09 Description: Southwest elevation of existing building.	Date: 14-Jul-09 Description: Interior of garage/body shop.	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



Summary table with columns: College Code (300), Building Code (TRANSB), Building Name (Automotive Tech. Training Ceneter Bldg B)

Main data table with columns: Qty, Line Number, Description, Unit, Material, Labor, Equipment, Total, Extra Material, Extra Labor, Extra Equipment, Extra(s) Total, Total Overhead & Profit, Total Line Item Cost

Total row: Total \$ 13,500.00, Total Line Item Cost \$ 40,200.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	CODW	Codwell Hall Campus	Codwell Hall	555 Community College Dr, 77013	1999	0	3	76,000	\$126,000	\$12,298,000	1.02%

Sitework / Landscape

Need to screen pump equipment on west side. No existing uplights installed at front entry sign. All plant material needs to be better maintained, plant material needs to be filled in, dead plant material removed and replaced. Need to straighten and properly stake 8 trees on north side of the building. Parking lot island planting needs to be pruned and all mulch beds filled in. Large open plaza area needs established shade. Site furnishings need to be replaced with College standard. Existing pedestrian lighting does not match College standard. Refer to irrigation site assessment for irrigation notes. Need to re-mulch trees on south side and replace dead sod. Sitework: A couple of locations of broken curb and cracked sidewalk. Possible localized ponding in heavy rain. General Rating 5

Building Description

The Codwell Building is a three-story building about ten years old. The exterior of the building is made of a pre-finished metal panel system and in good condition. The north wing of the building was damaged from Hurricane Ike and all finishes in the library and computer labs have been updated and replaced. The east window in Office 214A has cracked glazing and needs to be replaced replacing. The carpet in the office areas has had "heavy traffic" and needs to be replaced.

Mechanical

No deficiencies noted.

Electrical

Lightning protection damaged on lower roof, needs repair.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

No deficiencies noted.

Photographs		Location Map	
Date: 12-Jul-09	Date: 12-Jul-09		
Description: West elevation from entry drive.	Description: Restrooms currently meet ADA requirements.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	300
Building Code	CODW
Building Name	Codwell Hall

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
550	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 23,925.00	\$ 1,116.50	\$ -	\$ 25,041.50	\$ 51.18	\$ 28,149.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 23,925.00	\$ 1,116.50	\$ -	\$ 25,041.50		\$ 28,149.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data



HCCS FACILITIES ASSESSMENT
Facility Condition Executive Summary

Owned
 Leased



College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	555 Community College Dr, 77013	----	0	1	1,325	\$5,000	\$219,000	2.28%

Sitework / Landscape

Sitework: No problems. Overall Rating: 5

Building Description

The Codwell Hall Shower is a temporary building that is no longer in use and is off-line.

Mechanical

Mechanical Systems are old and beyond repair, should be replaced.

Electrical

Electrical systems to these two trailers should be updated.

Plumbing

Trailers are dismantled. Plumbing will need to be completely upgraded if these facilities are put back into use.

Life Safety - ADA - Hazmat

Photographs	
Date:	Date:
Description:	Description:

Location Map



HCC Facilities Assessment
 Cost Estimates by Deficiencies - Architectural Items



College Code	300
Building Code	BLDG4
Building Name	Codwell Hall Shower (Temp)

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -		\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	555 Community College Dr, 77013	2009	0	3	90,000	\$28,000	\$15,011,000	0.19%

Sitework / Landscape

No uplights on existing light poles. Center island planting along entry drive needs to be filled in. Existing Nandian along building perimeter is dying and needs to be monitored. No site furnishing at south entry. Existing bench along perimeter walkway is not College standard. No trash receptacles at west entry. Irrigation system was not run during site assessment.
 Sitework: No repairs needed. Overall Rating: 5

Building Description

The Learning Hub is a three-story building still under construction at the time of inspections, and inspectors were not allowed inside. The building should be open and ready for use by the end of 2009.

Mechanical

Building not yet completed and were not allowed inside. Will be under full warranty.

Electrical

Building not yet completed and were not allowed inside. Will be under full warranty.

Plumbing

Building not yet completed and were not allowed inside. Will be under full warranty.

Life Safety - ADA - Hazmat

Building not yet completed and were not allowed inside. Will be under full warranty.

Photographs		Location Map	
Date: 12-Jul-09	Date: 12-Jul-09		
Description: North elevation of the new building.	Description: South elevation of the new building.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	300
Building Code	LHUB
Building Name	Learning Hub at Northeast

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	NOLN	Northline Center	Northline-New Academic Center	8001 Fulton Dr., 77022	2008	0	4	80,500	\$37,400	\$14,037,000	0.27%

Sitework / Landscape
 All dead plant material to be removed and replaced. Existing raised beds within turf areas are overgrown and in need of weeding. Existing drainage swale in staff parking lot does not have an installed catch basin system. Street trees along Lyerly Street need to be staked, and mulch watering installed. Need to screen existing pump equipment. Need to provide bike racks. Plaza area needs outdoor seating opportunities. Refer to irrigation site assessment notes for irrigation assessment. Sitework: The asphalt pavement is beginning to show signs of needing repair. All of the storm inlets needs to have the silt fence removed from on top of them. Also, all inlets are covered with landscaping rocks. Overall Rating: 4.5

Building Description
 The Northline New Academic Center is a new four-story building recently constructed and still under warranty at the time of inspections. The new curtain wall system has a water infiltration problem which was being corrected by the installers and covered under warranty.

Mechanical
 New Building. No deficiencies noted.

Electrical
 New Building. No deficiencies noted.

Plumbing
 New Building. No deficiencies noted.

Life Safety - ADA - Hazmat
 New Building. No deficiencies noted.

Photographs		Location Map	
Date: 14-Jun-09	Date: 14-Jun-09		
Description: Southeast elevation of the new building.	Description: Restrooms comply with current ADA.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	300
Building Code	NOLN
Building Name	Nothline-New Academic Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	PINE	Pinemont Campus	Pinemont Hall	1265 Pinemont Dr., 77018	---	0	1	51,368	\$2,094,000	\$9,073,000	23.08%

Sitework / Landscape

Sitework: The sample well appears to be grouted over. Overall Rating: 5 Landscaping: No deficiencies noted.

Building Description

Pinemont Hall is a one-story converted retail center. The exterior of the building is in good condition. Storefront windows should be cleaned and maintained. The interiors are in good condition. The carpet in the lobby and office areas has had "heavy traffic" and should be replaced.

Mechanical

Thirteen of the Rooftop Units need to be replaced, one was replaced two years ago. Those remaining are beyond their life expectancy.

Electrical

Electrical service should be updated, should add a second transformer.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

No deficiencies noted.

Photographs		Location Map
Date: 10-Jun-09 Description: South elevation of existing building.	Date: 25-Sep-09 Description: Entry lobby	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	300
Building Code	PINE
Building Name	Pinemont Hall

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
160	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 6,960.00	\$ 324.80	\$ -	\$ 7,284.80	\$ 51.18	\$ 8,188.80
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 6,960.00	\$ 324.80	\$ -	\$ 7,284.80		\$ 8,188.80

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	PSI	Codwell Hall Campus	Public Safety Institute	555 Community College Dr, 77013	2007	0	1	11,000	\$37,000	\$3,551,000	1.04%

Sitework / Landscape
 Need to provide screening of existing trash area. Need to re-mulch all existing planting beds. Shrub row around perimeter of parking lot needs to be filled in with matched specimens. Need to replace missing trees within lawn area. Dead groundcover along front entry needs to be removed and replaced. Need to screen electrical transformer on east side. Wind screen on the existing fence has fallen down, need to replace and re-install.
 Sitework: All of the inlets are holding water and some need to be lowered to ground elevation. The storm sewer system does not drain the water very well. Several birdbaths are noticeable in the parking lot.

Building Description
 The Public Safety Institute is comprised of four buildings built in 2007. Two of the buildings are fire training buildings that are constructed out of exposed steel columns and beams, concrete masonry units, and hollow metal frames. The third building is an outdoor restroom building. The finishes for these three buildings are intentionally industrial to withstand fire testing and "high abuse". The fourth building is a one-story building with offices, classrooms, showers, lockers, and a shooting range. The exterior and interior of the building are in good condition.

Mechanical
 No deficiencies noted.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

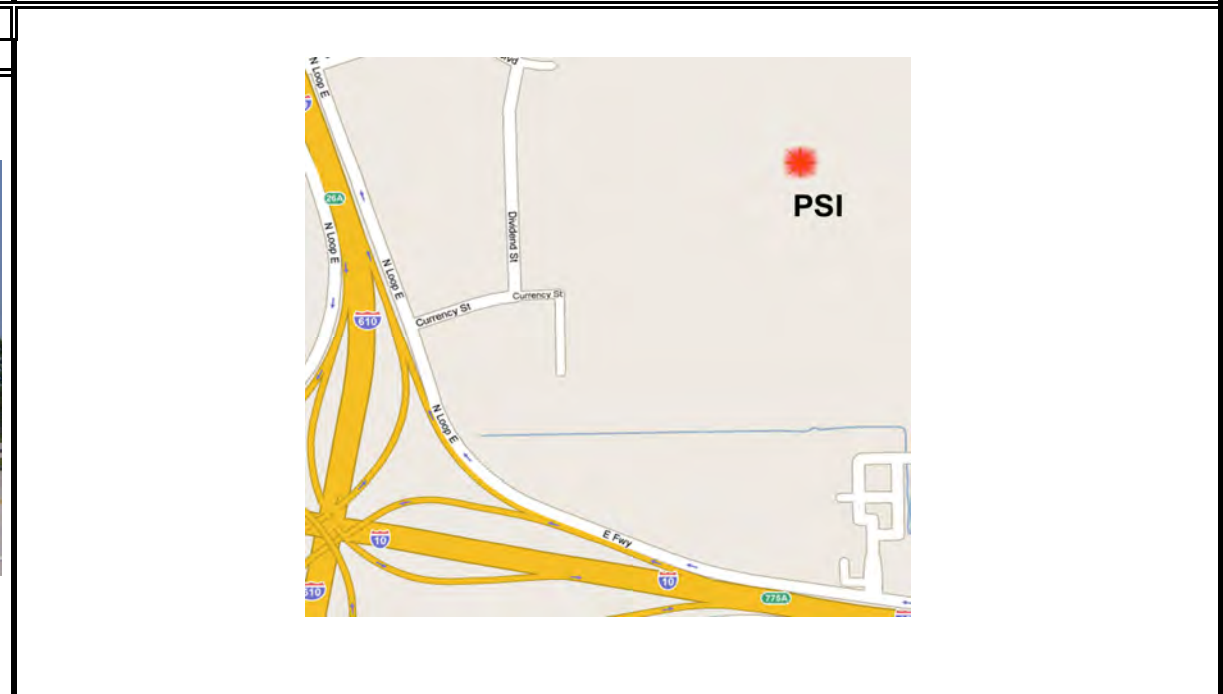
Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs

Date: 12-Jul-09	Date: 12-Jul-09
Description: South elevation of the two training buildings.	Description: Southwest elevation of the office, shooting range building.



Location Map





HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	300
Building Code	PSI
Building Name	Public Safety Institute

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Center	555 Community College Dr, 77013	1999	0	2	13,000	\$52,000	\$3,119,000	1.67%

Sitework / Landscape
Need to fill in Indian Hawthorn at main entry. Need to paint cross-walk area. Existing seating area needs to be renovated and College standard furnishings installed. Need to replace sod along front slope. Irrigation system was not run during assessment.

Building Description
The Truck Driving Center is a two-story building. The exterior of the building is made of a pre-finished metal panel system and in good condition. The indoor/outdoor area is an industrial shop and receives heavy traffic. The interior of the building is in good condition. The VCT has had "high traffic" and can be replaced or patched in the classroom and offices.

Mechanical
Flues on roof need to be re-braced. They have been blown out of alignment by storms.

Electrical
Lightning Protection system should be re-certified.

Plumbing
No deficiencies noted.

Life Safety - ADA - Hazmat
No deficiencies noted.

Photographs		Location Map	
Date: 12-Jul-09	Date: 12-Jul-09		
Description: Northwest elevation of the building.	Description: Entrance at main entry lobby.		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	555 Community College Dr, 77013	2008	0	3	46,800	\$35,000	\$8,430,000	0.42%

Sitework / Landscape
 Missing gate on maintenance area. Nandian along building perimeter needs to be monitored and replaced if health continues to decline. Need to replace mulch watering rings around existing trees. Irrigation system was not run during assessment.
 Sitework: Sidewalk behind building shows signs of holding water during a storm. Overall Rating: 5

Building Description
 The Science and Technology Building is a new three-story building recently constructed and still under warranty at the time of inspections.

Mechanical
 No deficiencies noted.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs		Location Map	
Date: 12-Jul-09	Date: 12-Jul-09		
Description: Northeast elevation of the new building.	Description: Typical science lab classroom		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	CHPP	Codwell Hall Campus	Physical Plant (Science Stor Bldg)	555 Community College Dr, 77013	2008	0	1	10,432	\$16,000	\$1,213,000	1.32%

Sitework / Landscape
Sitework: Parking lot shows some signs of ponding. Overall Rating: 5

Building Description
The Codwell Physical Plant is a new building that opened in 2008. Upon inspection, this building has no issues with finishes and/or equipment.

Mechanical
No deficiencies noted.

Electrical
No deficiencies noted.

Plumbing
No deficiencies noted.

Life Safety - ADA - Hazmat
No deficiencies noted.

Photographs				Location Map			
Date:	12-Jul-09	Date:					
Description:	West elevation of the new physical plant.	Description:					

Northwest College

Early Childhood Development (Katy Mills Mall)	Page 5-59
Commons / Bookstore	Page 5-61
Performing Arts Center	Page 5-63
Science Building	Page 5-65
Spring Branch (Town and Country)	Page 5-67
Westgate Center	Page 5-69

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	KAML	Katy Mills Mall	Early Childhood Development	25403 Kingsland Blvd., 77494	2002	0	1	8,050	\$54,000	\$1,272,000	4.25%

Sitework / Landscape
 Weed front entry beds and plant matched specimens within void spaces. Replace bullrock band along front entry bed. Need to weed all planting beds. Need to fill in gaps along parking lot shrub row. Need to screen electrical transformer in front island. Back playground area does not have a secure fencing system. Refer to field report for irrigation notes.
 Sitework: Several birdbaths can be found throughout the parking lot pavement. One sidewalk panel is cracked. Unable to open sanitary manhole. Overall Rating: 4.5

Building Description
 The Early Childhood Development is located in a modular building. The exterior is in good condition. The built-up roof was recently replaced. The classrooms have colored VCT that is showing signs of wear and need to be replaced.

Mechanical
 No deficiencies noted.

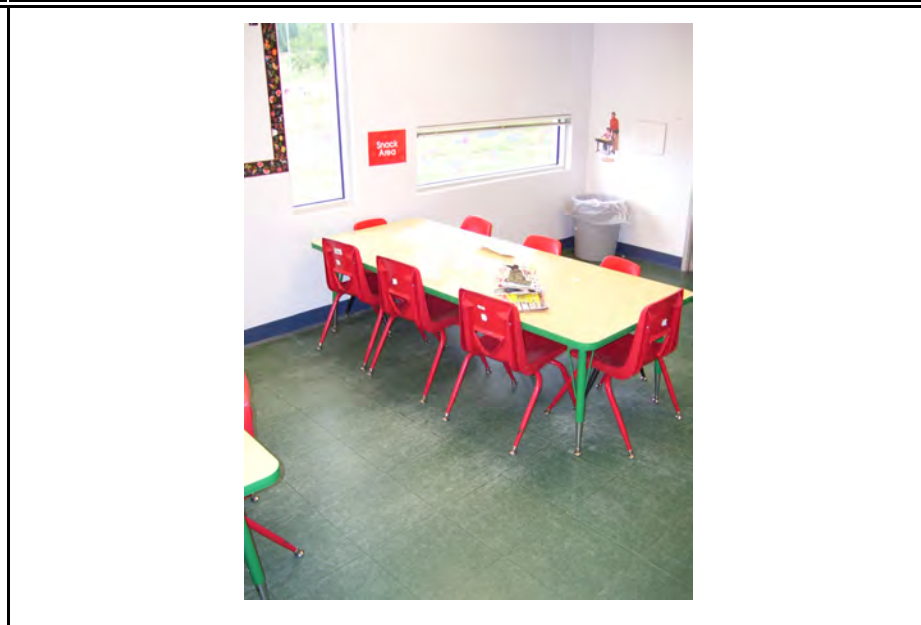
Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

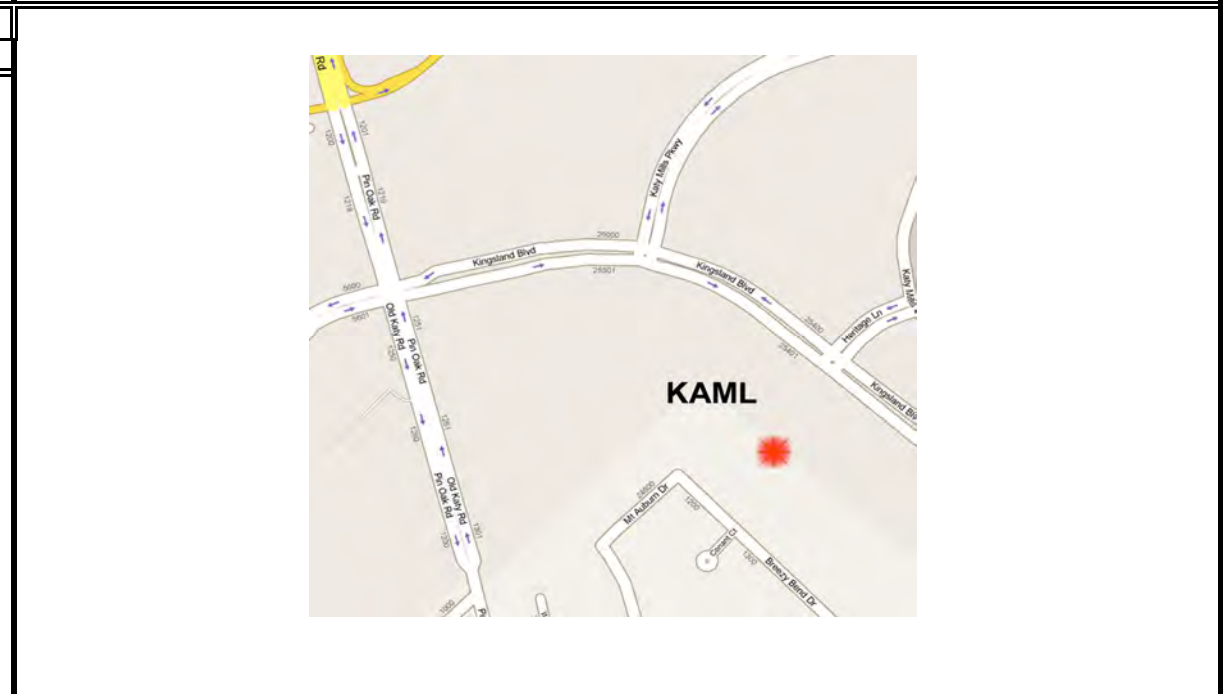
Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs

Date: 19-Jul-09	Date: 19-Jul-09
Description: East elevation of existing building.	Description: Typical classroom showing colored VCT and traffic wear.



Location Map





HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	400
Building Code	KAML
Building Name	Early Childhood Development

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
3000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 6,600.00	\$ 1,830.00	\$ -	\$ 8,430.00	\$ 3.37	\$ 10,110.00
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 6,600.00	\$ 1,830.00	\$ -	\$ 8,430.00		\$ 10,110.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	COMM	Spring Branch Campus	Commons/Bookstore	1060 W. Sam Houston Pkwy., 77043	----	0	1	8,576	\$0	\$1,515,000	0.00%

Sitework / Landscape
No deficiencies noted.

Building Description
The Commons/ Bookstore is part of a one-story converted retail center. The exterior of the building is in good condition. Storefront windows should be cleaned and maintained. The Commons interiors were recently remodeled and are in good condition. The bookstore recently had carpet replaced and fixtures are in good condition. The Commons also contains a leased-out deli on the frontage end cap.

Mechanical
No deficiencies noted.

Electrical
No deficiencies noted.

Plumbing
No deficiencies noted.

Life Safety - ADA - Hazmat
No deficiencies noted.

Photographs		Location Map	
Date: 20-Jul-09	Date: 20-Jul-09		
Description: East elevation of Commons and Bookstore building.	Description: View of the Commons lounge area.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	400
Building Code	COMM
Building Name	Commons/Bookstore

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	PAC	Spring Branch Campus	Performance Arts Center	1060 W. Sam Houston Pkwy., 77043	----	0	1	36,750	\$1,433,000	\$5,952,000	24.08%

Sitework / Landscape

Need to replace existing site furnishings with College standard. Current smoking area is located at front entry of the building. Opportunity for formal entry at drop-off area. No irrigation surrounding the building perimeter. Could use parking lot trees for shade, along with shrubs for parking lot screening. Building needs HCC signage.
 Sitework: Some birdbaths were noticeable on the eastside of the parking lot. The storm inlets need to have inverts built. The sanitary manhole has the trunk line inside the invert. Overall Rating: 4

Building Description

The building is a converted movie theater with a recent addition of a theater and performing arts studios. The structure is a single-story concrete block and bar joist structure. The exterior of the building is in good condition. The existing theaters need to have the carpet and fixed seating replaced. The restrooms need to be updated to comply with current ADA requirements. See ADA Code of Standards sections 4.16 through 4.19 Carpet needs to be replaced in lobby, offices, and theatres.

Mechanical

DX units on the roof need to be replaced.

Electrical

Electrical switchgear needs to be updated.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

See ADA Code of Standards sections 4.16 through 4.19

Photographs		Location Map	
Date: 20-Jul-09	Date: 20-Jul-09		
Description: East elevation of existing building.	Description: Typical restrooms in the existing building need to be reviewed for ADA compliance.		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	400
Building Code	PAC
Building Name	Performance Arts Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
741	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 32,233.50	\$ 1,504.23	\$ -	\$ 33,737.73	\$ 51.18	\$ 37,924.38
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
763	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ 168,623.00	\$ 22,127.00	\$ -	\$ 190,750.00	\$ 291.00	\$ 222,033.00
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
3	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ 18,000.00	\$ 18,000.00	\$ -	\$ 36,000.00	\$ 12,000.00	\$ 36,000.00
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 200,856.50	\$ 23,631.23	\$ -	\$ 224,487.73		\$ 295,957.38

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	SCIB	Spring Branch Campus	Science Building	1080 W. Sam Houston Pkwy., 77043	----	0	1	19,417	\$641,000	\$4,439,000	14.44%

Sitework / Landscape

Heavy foot traffic through existing planting beds, consider allowing for more efficient pedestrian traffic from building to building. Need to place College standard bike racks at building entry, along with replacing existing site furnishings with College standard. Large open plaza along front of entry, opportunity for focal point and shade. Irrigation system was not running during our site assessment. Current campus does not have any way-finding or HCC identification signage. Sitework: The asphalt pavement in the parking lots shows major signs of ponding and need to be repaired. The storm inlets need to have the debris removed. Overall Rating: 4

Building Description

The Science Building is part of a one-story converted retail center. The exterior of the building is in good condition. Storefront windows should be cleaned and maintained. The interiors for the classrooms, science labs, and restrooms are in good condition. Classroom 512 has water damage and minor gypsum board damage.

Mechanical

Fume hood exhaust units need to be replaced and stacks manifolded.

Electrical




Main Switchgear needs attention and updating.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

No deficiencies noted.

Photographs		Location Map
<p>Date: 20-Jul-09</p> <p>Description: Southeast elevation of existing building.</p> 	<p>Date: 20-Jul-09</p> <p>Description: Science lab needing minor wall and base repair.</p> 	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	400
Building Code	SCIB
Building Name	Science Building

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
128	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ 192.00	\$ 234.24	\$ -	\$ 426.24	\$ 4.65	\$ 595.20
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 192.00	\$ 234.24	\$ -	\$ 426.24		\$ 595.20

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	1010 W. Sam Houston Pkwy., 77043	----	0	1	32,306	\$2,421,000	\$7,240,000	33.44%

Sitework / Landscape
 Currently no entry signage to campus from parkway feeder road. Existing site furnishing is not College standard. Need to re-stake existing trees along front entry. No street trees along feeder road. Large walkways along front entry - consider placing an awning along walkway. Need to review current vehicle traffic flow, consider making parking lot one way traffic to ease congestion at entry/exit. Provide gate at trash enclosure. Heavy erosion along maintenance walkway on east side of building because of rain gutters. Existing plant material is dying as on-site irrigation system is not working.


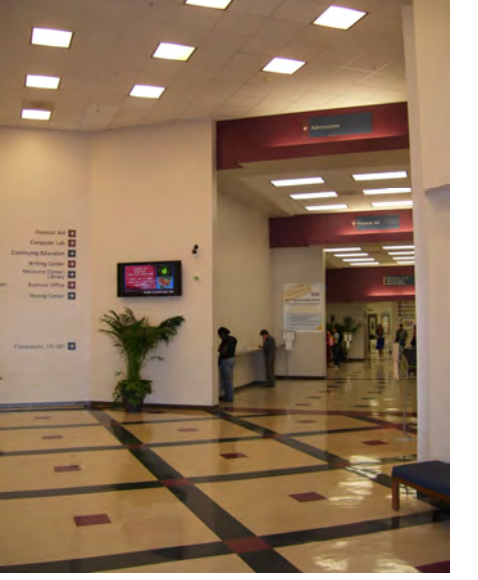
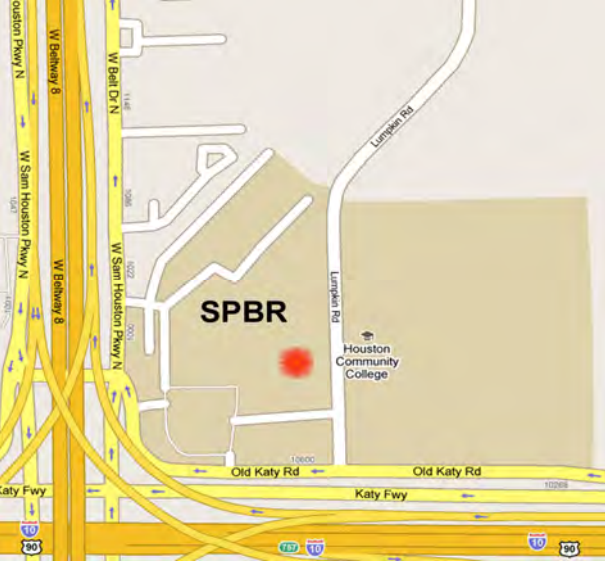
Building Description
 This building is the largest building on the Spring Branch campus. The building is a converted warehouse building with a recent major addition. The exterior of the building is in good condition. Storefront windows should be cleaned and maintained. Majority of interior finishes are in good condition. Carpet in offices have traffic wear and should be updated and replaced. VCT in north and west corridor has cracking along center of corridor, could be occurring from minor settling or expansion joints in slab.

Mechanical
 Replace two AHU's.

Electrical
 Two main power services feed the now one combined building. Electrical switchgear needs updating and consolidation.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs		Location Map	
Date:	20-Jul-09	Date:	20-Jul-09
Description:	West elevation of existing building.	Description:	Interior of main entry lobby.
			
			

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	KATY	Katy Campus	Westgate Center (was WSAT)	1550 Fox Lake Dr., 77084	----	0	3	108,503	\$7,841,000	\$18,480,000	42.43%

Sitework / Landscape

Need to tend to existing turf in shaded areas. Replace mulch watering rings around existing trees. Parking lot trees need to be removed and replaced with another species. Existing parking lot spaces renovated to create seating areas, need to provide bollard protection within these spaces and make them more inviting. Planting beds need mulch placed within them. Need to provide College standard bike racks. Irrigation on-site is not working along east side. Refer to irrigation field report for assessment of existing system.
 Sitework: The parking lot pavement around the perimeter of the building is cracking heavily. Overall Rating: 4

Building Description

The Westgate Center is an existing three-story office building. The exterior of the building is in good condition. The interiors of the building are in good condition with ongoing remodeling. A few of the first floor office suites are in the process of relocating and/or have relocated. The restrooms meet ADA compliance. The carpet in the classrooms and offices throughout the building needs to be updated and replaced. Classrooms on the second floor need to be repainted.

Mechanical

Replace the 135 ton Chiller; All of the AHU's; and all four of the exhaust fans on the roof need to be replaced. Need an A/C unit for the water service room.

Electrical

IT and Computer systems have UPS backups that need additional capacity and surge protection updating.

Plumbing

Restrooms and water fountains throughout need to be ADA compliant. The main domestic water service line entering the building had a leak that was not repaired properly, Entire water needs to be replaced. Hot water heaters need replacement. Janitor sink in telephone room of second floor needs replacement.

Life Safety - ADA - Hazmat

No deficiencies noted. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		Location Map
Date: 19-Jul-09 Description: Northwest elevation of existing building.	Date: 19-Jul-09 Description: Remodeled student lounge on first floor.	

Southeast College

Angela Morales Building	Page 5-71
Eastside Annex	Page 5-73
Felix Morales Building	Page 5-75
Felix Fraga Academic	Page 5-77
Office City	Page 5-79
Southeast Learning Hub	Page 5-81
Temporary Classrooms 1	Page 5-83
Temporary Classrooms 2	Page 5-85

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	AM	Eastside Campus	Angela Morales Building	6816 Rustic St., 77087	1999	0	3	65,000	\$478,000.00	\$1,310,000.00	36.49%

Sitework / Landscape
 Need to provide screening of existing trash area. Trees need to be re-staked in the parking lot. Existing uplights along east side need adjustment, west side is missing uplights. Need to repair uplights on front entry sign. Existing billboard and HCC sign create a congested corner. Need to replace site furnishings with College standard. Roses along front entry sign need to be removed and replaced with an alternate plant material. Re-mulch all planting beds. Irrigation system was not run during assessment as it was broken.
 Sitework: One birdbath is noticeable in the parking lot. Also, the inlets need the inverts to be poured. Overall rating: 4



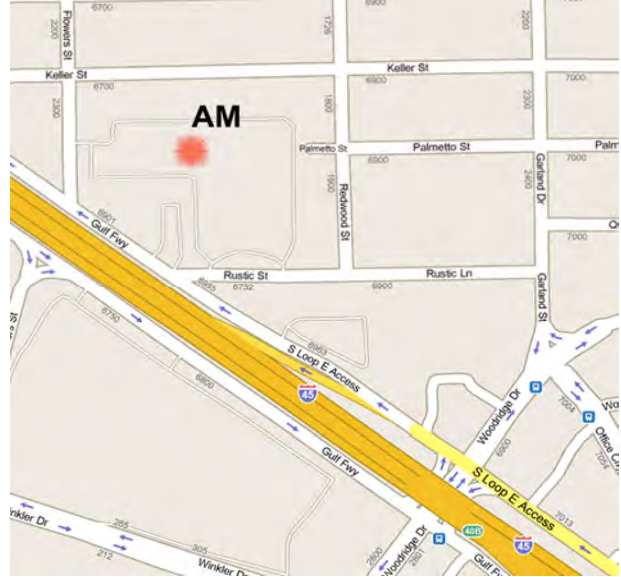
Building Description
 The Angela Morales building is a three story slab on grade building with a standing seam metal roof system. Repair crack in gypsum board wall @ Rm. 1015. VCT and carpet flooring in need of general cleaning. Replace carpet at Rms. 1025, 1026, 3004, 3005, 3007, 3008, 3010 & 3011B. Vending machine has damaged VCT @ snack bar; replace VCT. Replace VCT flooring @ Rms. 205, 225, 2023 & 2024. Replace/repair damaged ceiling tile @ Rms. 1004 & 2006

Mechanical
 Mechanical Room #145: AHU needs to be replaced. Pneumatic system needs to be replaced.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 Lab tables are not wheel chair-accessible @ Rms. 201 & 203. Restrooms do not comply with ADA/TAS. No Fire Alarm strobe (visual alert) observed in Rm. 2014. See ADA Code of Standards sections 4.16 through 4.19

Photographs		Location Map	
Date:	20-May-09	Date:	20-May-09
Description:	Exterior shot of Angela Morales Building	Description:	Exterior shot of front entrance of the Angela Morales Building
			
			

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	ESAN	Eastside Campus	Eastside Annex	2524 Garland St., 77087	1965	0	1	25,300	\$90,000.00	\$4,846,000.00	1.86%

Sitework / Landscape
 Need to re-grade and re-sod north turf area. Existing furnishings in courtyard area are not College standard. Need to fill in Indian Hawthorn beds within courtyard space. Need to replace entry sign uprights. Need to place trash enclosure around existing trash receptacles. Need to clean up leaves and debris in south west corner of site, around temporary buildings. Irrigation system was not run during assessment because of on-site construction. If west area is being used for storage, need to provide secure enclosure.
 Sitework: The paving of the side parking lot is severely deteriorated and needs immediate repair. The storm sewer pipes protrude in the storm inlets. Overall Rating: 3

Building Description
 The facility consists of a renovated church with a renovated theatre in the former sanctuary and three single story buildings. All buildings consists of wood framing with wood siding or brick veneer and composition roofing. Repair damaged gypsum board wall @ Rm. B3. Replace carpet at Rm. B1. Replace VCT flooring @ Rms. B1-B4, B6, B7, Kitchen, 9, 10, 12-15. Replace/repair damaged ceiling tile @ Principal's Office. Replace countertops @ kitchen. Exterior Hardi-plank siding in need of paint. Replace damaged asphalt shingle roof. Replace improperly applied asphalt roofing material turned up on vertical wall surface with Hardi-plank system.

Mechanical
 Split DX systems need to be replaced.

Electrical
 Electrical switchgear is old and needs to be updated.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 Women's Toilet does not comply with ADA/TAS. Men's Toilet has no Handi-Cap Stall and does not comply with ADA/TAS; exposed piping @ sink is uninsulated. No Fire Alarm strobe (visual alert) or smoke detector observed @ Rms. B1-B4, B6, B7, 9, 10, 13-15. See ADA Code of Standards sections 4.16 through 4.19

Photographs		Location Map	
Date: 20-May-09	Date: 20-May-09		
Description: Exterior Eastside Annex Buildings	Description: Exterior Eastside Annex Buildings		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	FM	Eastside Campus	Felix Morales Building	6815 Rustic St., 77087	1990	0	1	54,345	\$568,000.00	\$9,872,000.00	5.75%

Sitework / Landscape
 Need to provide screening of existing trash area. Refer to landscape field report for trees that need to be re-staked in the parking lot. Existing uplights along east side need adjustment, west side is missing uplights. Need to repair uplights on front entry sign. Existing billboard and HCC sign create a congested corner. Need to replace site furnishings with College standard. Roses along front entry sign need to be removed and replaced with an alternate plant material. Re-mulch all planting beds. Irrigation system was not run during assessment as it was broken.
 Sitework: One birdbath is noticeable in the parking lot. The manholes and inverts need minor work. There is broken pavement and sidewalks. Overall rating: 3.5

Building Description
 Building consists of a three story slab-on-grade, constructed from a structural steel frame with poured-in-place decks. Standing seam metal roof system. Observed excessive standing water at roof to connecting crosswalk; verify existing roof slope for positive drainage. VCT flooring in need of general cleaning. Window wall @ Room 105 leaks. Replace carpet at Rms. 115, 237 & 240. Water leak has damaged VCT @ Rm. 109.8; repair leak and replace VCT. Replace VCT flooring @ Rms. 205, 225, 2023 & 2024. Replace/repair damaged ceiling tile and grid @ Rms.202, 213 and 237. Alleged movement of floor in library and the wall. Previous repairs have reportedly been ineffective. This problem needs to be investigated and corrected.

Mechanical
 No deficiencies noted.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 Lab tables are not wheel chair-accessible @ Rms. 201 & 203. See ADA Code of Standards sections 4.16 through 4.19. No smoke detectors observed in Rm. 215

Photographs		Location Map
Date: 20-May-09 Description: Exterior of Felix Morales Building.	Date: 20-May-09 Description: Interior at main entry/lobby	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	500
Building Code	FM
Building Name	Felix Morales Building

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
3000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 6,600.00	\$ 1,830.00	\$ -	\$ 8,430.00	\$ 3.37	\$ 10,110.00
1800	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 2,448.00	\$ 1,152.00	\$ -	\$ 3,600.00	\$ 2.56	\$ 4,608.00
200	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 8,700.00	\$ 406.00	\$ -	\$ 9,106.00	\$ 51.18	\$ 10,236.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
64	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ 96.00	\$ 117.12	\$ -	\$ 213.12	\$ 4.65	\$ 297.60
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
8	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ 848.00	\$ 732.00	\$ -	\$ 1,580.00	\$ 280.00	\$ 2,240.00
8	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ 76.40	\$ 37.76	\$ -	\$ 114.16	\$ 18.95	\$ 151.60
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 18,768.40	\$ 4,274.88	\$ -	\$ 23,043.28		\$ 27,643.20

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	FFAC	Eastside Campus	Felix Fraga Academic	3031 N. Drennan St., 77033	2009	0	3	69,100	\$0	\$12,594,000	0.00%

Sitework / Landscape
 Sitework: N/A

Building Description
 The Felix Fraga Academic building is a new three-story building still under construction at the time of inspections. The building should be open and ready for use by the end of the year (2009) or beginning of next year (2010).

Mechanical
 Building not yet completed and were not allowed inside. Will be under full warranty.

Electrical
 Building not yet completed and were not allowed inside. Will be under full warranty.

Plumbing
 Building not yet completed and were not allowed inside. Will be under full warranty.

Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs		Location Map
Date: 14-Sep-09 Description: Exterior of the Felix Fraga Academic Building	Date: 14-Sep-09 Description: Exterior of the Felix Fraga Academic Building	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	500
Building Code	FFAC
Building Name	Felix Fraga Academic

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	OFFCTY	Eastside Campus	Office City	7015 Gulf Frwy, Suite 200, 77087	----	0	2	8,246	\$35,000	\$2,050,000	1.71%

Sitework / Landscape

Sitework No problems were reported. General Rating 5

Building Description

This facility is leased by HCC. Building is in need of general cleaning and interior painting. Two (2) classrooms did not have doorstops or wall protection leading to wall damage from the door swings.

Mechanical

This facility is in lease space and is not maintained by Aramark or HCC.

Electrical

No deficiencies noted.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

Did not observe any Fire Alarm Strobes (visual alerts) or smoke detectors installed. Otherwise, building appears to be in compliance with ADA/TAS.

Photographs

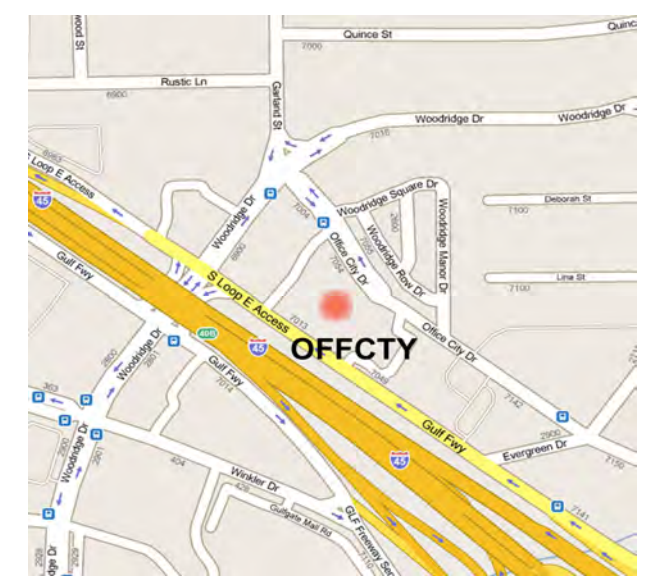
Date: 20-May-09
Description: Exterior shot of Office City Building



Date:
Description:



Location Map





HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	500
Building Code	OFFCTY
Building Name	Office City

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
128	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ 192.00	\$ 234.24	\$ -	\$ 426.24	\$ 4.65	\$ 595.20
40000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 4,800.00	\$ 14,000.00	\$ -	\$ 18,800.00	\$ 0.69	\$ 27,600.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 4,992.00	\$ 14,234.24	\$ -	\$ 19,226.24		\$ 28,195.20

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	SELH	Eastside Campus	Southeast Learning Hub	2420 Garland St., 77087	2009	0	3	90,213	\$161,000	\$16,116,000	1.00%

Sitework / Landscape

Sitework: N/A

Building Description

The Learning Hub is a new three-story building still under construction at the time of inspection. The building should be open and ready for use by the end of the year (2009).

Mechanical

Building not yet completed and were not allowed inside. Will be under full warranty.

Electrical

Building not yet completed and were not allowed inside. Will be under full warranty.

Plumbing

Building not yet completed and were not allowed inside. Will be under full warranty.

Life Safety - ADA - Hazmat

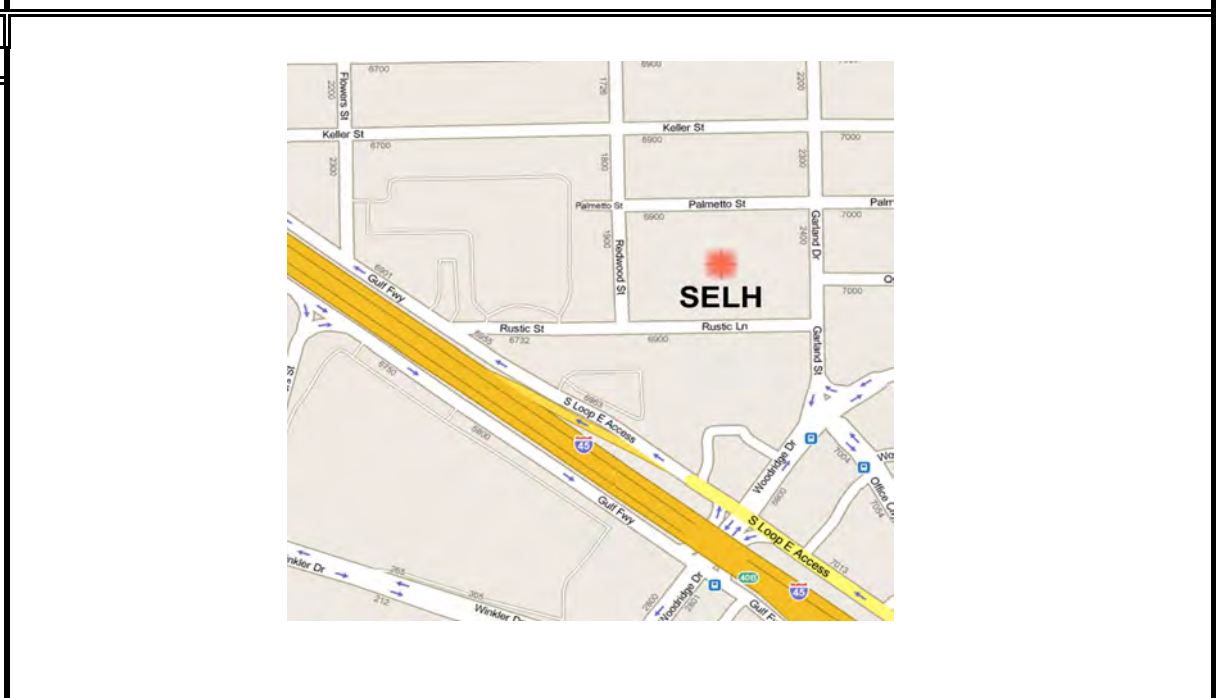
No deficiencies noted.

Photographs

Date:	20-May-09	Date:	20-May-09
Description:	Exterior elevation of New SE Learning HUB	Description:	Exterior elevation of New SE Learning HUB



Location Map





HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	500
Building Code	SELH
Building Name	Southeast Learning Hub

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	6815 Rustic St., 77087	----	0	1	2,816	\$84,000	\$140,000	60.00%

Sitework / Landscape
Sitework: Good. General Rating 5

Building Description
This is a pre-manufactured metal building subdivided into 4 rooms. It is in excellent condition but currently is not being used.

Mechanical
Mechanical systems for these buildings are outdated. The AHU's and compressors need to be replaced.

Electrical
Electrical switchgear needs to be updated.

Plumbing
No deficiencies noted.

Life Safety - ADA - Hazmat
Did not observe any Fire Alarm Strobes (visual alerts) or smoke detectors installed.

Photographs		Location Map	
Date: 20-May-09	Date:		
Description: Handicap Entry to Temp Building(1) Non-Accessible	Description: Entry at Temp Building (2) Non-Accessible		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	500
Building Code	TEMP1
Building Name	Temp. Classrms (2 Bldgs)

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	6815 Rustic St., 77087	----	0	1	2,859	\$84,000	\$140,000	60.00%

Sitework / Landscape

Sitework: The asphalt pavement is deteriorating and needs to be replaced or patched. There are low lying areas that need to be graded to drain. General Rating 3.5

Building Description

This is a pre-manufactured metal building subdivided into 6 rooms. It is in excellent condition. (6) Typical Temporary buildings and the functions thereof will be located in the new SE Learning HUB.

Mechanical

Mechanical systems for these buildings are outdated. The AHU's and compressors need to be replaced.

Electrical

Electrical switchgear needs to be updated.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

Did not observe any Fire Alarm Strobes (visual alerts) or smoke detectors installed.

Photographs		Location Map
Date: 20-May-09 Description: (Typical) Temporary buildings (3-9) Non-Accessible	Date: 20-May-09 Description: No access to interior	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	500
Building Code	TEMP2
Building Name	Temp. Classrms (6 Bldgs)

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

Southwest College

Alief	Page 5-87
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Alief Campus (Hayes Road)	Page 5-97
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West Loop Center	Page 5-105

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	ACEU	Alief Continuing Education Center	Alief	13803 Bissonet St, 77072	?	0	1	43,000	\$35,000	\$9,057,000	0.39%

Sitework / Landscape
 Need to re-mulch planting beds. Need to provide screening of adjacent properties. Need to screen existing trash enclosure. Wood fence adjacent to property in need of repair and screening. Parking lot needs shade trees. Existing bike racks are not College standard. Need to extend tile entry out into drop off area to create a formal entry, Need to move smokers station away from main entry. Refer to irrigation field report for assessment.
 Sitework: Minor cracks can be seen throughout the parking lot pavement. Minor curb breaks throughout. Inlets need to have inverts installed and some need the debris removed. Overall rating: 4

Building Description
 The Alief Continuing Education Center building was constructed within the last 6 years. Overall, The Alief Continuing Education Center Building is in good condition. No deficiencies noted.

Mechanical
 No deficiencies noted.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs		Location Map
Date: 20-May-09 Description: Exterior at entry	Date: 20-May-09 Description: Interior at lobby/main entrance	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	600
Building Code	ACEU
Building Name	Alief

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	MOCC	Missouri City Campus	Academic Center Sienna Plantation	5855 Sienna Springs Way, 77459	2008	0	2	48,456	\$35,000	\$9,057,000	0.39%

Sitework / Landscape
 Need to replace dead trees within north parking lot. Need to fill in Iris beds at north parking lot. Need to mulch trees on front entry turf area. Need to monitor all parking lot groundcover and shrubs, refer to exact locations on landscape field report. Need to weed and mulch all planting beds. Need to weed decomposed granite area. Need to screen existing meters on north west side. Refer to irrigation field report for assessment.
 Sitework: No repairs needed. Overall Rating: 5

Building Description
 The Academic Center Sienna Plantation building was constructed in 2008. The building is currently under the one (1) year construction warranty and any problems with the building will be covered under the warranty.

Mechanical
 New building still under warranty. No MEP deficiencies noted.

Electrical
 New building still under warranty. No deficiencies noted.

Plumbing
 New building still under warranty. No deficiencies noted.

Life Safety - ADA - Hazmat
 New building still under warranty. No deficiencies noted.

Photographs		Location Map	
Date: 25-Jun-09	Date: 25-Jun-09		
Description: Exterior of Building Looking Northwest	Description: Main Corridor Looking West from Lobby		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	600
Building Code	MOCC
Building Name	Academic Center Sienna Plantation

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	ATC	Applied Technology Center	Applied Technology Center	4010 Bluebonnet, 77477	?	0	1	18,088	\$519,000	\$4,243,000	12.23%

Sitework / Landscape

Need to provide parking lot screening on vacant lot side of building. Replace dead shrubs along street side with matched specimens. Need to install building side, with possibility of formal planting. Need to monitor health of existing Live Oaks.
Sitework: Several birdbaths can be found throughout the parking lot. The curb and sidewalk are broken in numerous places. Overall Rating: 4

Building Description

The Applied Technology Center is scheduled for relocation by the end of December 2009 by HCC. The Applied Tech. Ctr. will be moved to the new Learning Hub Building. Building B is no longer owned by HCC and has a sign stating: 'For Lease by Owner'. Although building A is still occupied by HCC, their lease runs out in December 2009.

Mechanical

Understand lease will be terminated in 10 months. No deficiencies noted.

Electrical

No egress lights. No fire alarm system.

Plumbing

Restrooms need to be ADA compliant.

Life Safety - ADA - Hazmat

Both Buildings A & B contain an excessive amount of asbestos materials and insulation which is mainly why HCC is calling for the functions of these spaces to be relocated to the new Learning HUB.

Photographs		Location Map	
Date: 20-May-09	Date: 20-May-09		
Description: South- Building B	Description: South-Building A		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	600
Building Code	ATC
Building Name	Applied Technology Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	GRNB	Southwest Center	Greenbriar Annex	13645 Murphy Rd., 77477	1986	0	1	17,100	\$28,000	\$2,723,000	1.03%

Sitework / Landscape

Sitework: The parking lots need to have the asphalt resealed. Also, the parking lot needs to be restriped. Several locations on the campus showed broken curb and depressions in the pavement. The storm sewer manhole needs its ring and cover replaced. Overall rating: 3

Building Description

The Greenbriar Annex building is a space that has been leased by HCC. HCC is in the process of relocating all functions of this building to the new learning HUB. The Department of Art and Music currently occupies this space and will be moved before December 2009.

Mechanical

The majority of all MEP equipment is old (1983) and should be replaced before the entire building is occupied.

Electrical

Electrical switchgear should be upgraded.

Plumbing

Restrooms meet ADA compliance.

Life Safety - ADA - Hazmat

Some Life Safety fixtures should be replaced.

Photographs		Location Map	
Date: 20-May-09	Date: 20-May-09		
Description: Greenbriar Annex @ NE corner. (leased space)	Description: Greenbriar Annex @ NE corner. Front (leased space)		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	600
Building Code	GRNB
Building Name	Greenbriar Annex

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	GULF	Gulfton Center Campus	Gulfton Center	5407 Gulfton Dr, 77081	1973	0	2	35,500	\$92,000	\$6,959,000	1.32%

Sitework / Landscape
 Fill in shrubs at front of building, along Gulfton. Wood fence along perimeter needs replacement. Smoking area needs to meet HCC's College standards of site furnishings and possible shade structure. Existing bike rack is not College standard. Fill in building shrub row where applicable. Need to straighten three leaning trees, refer to landscape field report for location. No on-site irrigation. Sitework: Entrances off of Gulfton are starting to show excessive wear. The storm inlets are almost completely clogged with debris. Overall Rating: 4

Building Description
 The Gulfton Center Building was constructed in 1973 for Southwestern Bell Telephone and acquired by HCCS in 1990. The Gulfton Center building has undergone some renovation within the last 10 years. Recommendations are as follows: Remove/replace drop ceiling tiles and grid in all classrooms, offices and corridors. Paint all walls in classrooms and offices. Update VCT Floor tiles in rooms, 105, 113, 115, 118. Redesign Men's and Women's restrooms to be compliant with TAS/ADA codes. Overall, The Gulfton Center Building is in good condition.

Mechanical
 No deficiencies noted.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 Redesign Men's and Women's restrooms to be compliant with TAS/ADA codes. See ADA Code of Standards sections 4.16 through 4.19

Photographs		Location Map
Date: 20-May-09 Description: Northeast corner of Gulfton Center Building	Date: 20-May-09 Description: Interior at central corridor	



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	600
Building Code	GULF
Building Name	Gulfton Center

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
2400	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 5,280.00	\$ 1,464.00	\$ -	\$ 6,744.00	\$ 3.37	\$ 8,088.00
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
25000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ 3,000.00	\$ 8,750.00	\$ -	\$ 11,750.00	\$ 0.69	\$ 17,250.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
2	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ 12,000.00	\$ 12,000.00	\$ -	\$ 24,000.00	\$ 12,000.00	\$ 24,000.00
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 8,280.00	\$ 10,214.00	\$ -	\$ 18,494.00		\$ 49,338.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	ALIF	Alief Campus	Alief Campus (Hayes Rd.)	2811 Hayes Rd.	?	0	4	385,000	\$17,118,000	\$61,610,000	27.78%

Sitework / Landscape

Sitework: The parking lot's asphalt paving is showing signs of rutting and settling. Several birdbaths were noticed and need to be repaired. Overall Rating: 4

Building Description

The Alief Campus Hayes Road building is in an existing four-story office building. The exterior of the building is in good condition. The first floor is the only floor currently occupied with recently updated interiors. Plans are being made to rebuild and occupy the other floors. Wall marker board needs repairing in Recruiting room A114.

Mechanical

The majority of all MEP equipment is old (1983) and should be replaced before the entire building is occupied.

Electrical

Electrical switchgear should be upgraded.

Plumbing

Restrooms meet ADA compliance.

Life Safety - ADA - Hazmat

Some Life Safety fixtures should be replaced.

Photographs		Location Map	
Date: 20-May-09	Date: 22-Jul-09		
Description: NE corner of Hayes Rd. Building	Description: Interior at study rooms		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	STF2	Scarcella Science and Tech. Ctr.	Scarcella Science and Tech. Ctr.	10141 Cash Rd. 77477	?	0	1	75,000	\$989,000	\$12,923,000	7.65%

Sitework / Landscape

Planting beds along north side of building need mulch and weeding. Re-stake trees. All south parking lot islands need major care, current island beds are overgrown and very unkempt. All on-site planting beds to be mulched. Need to prune shrubs at main entry. Need to fill in groundcover along main entry drive. No landscape around or in east parking lot, consider placing parking lot trees and screen with parking lot shrubs. Need to place College standard site furnishings in courtyard area. Need to monitor health of turf along north side of site. Refer to irrigation field report for assessment and notes. Sitework: Parking lot on Southside needs restriping. Manholes along Westside have infiltration, debris, and settling of soil around outside. Storm inlets need to be lowered and stabilized. Cleanouts need to be lowered and need new covers. General rating 3

Building Description

The Scarcella Science and technology center which is also known as The Scarcella or Stafford Center (New) Campus, is a single story building. It consists of science and computer labs; business technology, lecture halls/classrooms and a TV Studio. Recommendations are as follows: VCT and carpet are in need of general cleaning throughout. All corridors need cleaning of existing vinyl wall covering and VCT flooring. Replace VCT flooring in rooms W102 & W104 and repair VCT flooring W101 from vending machine damage. Existing wall panels @ Rm. W106 need either painting or replacement. Replace damaged ceiling tile in Rm. E105. Overall building is in good condition.

Mechanical

Multi-zone system will need upgrades within five years

Electrical

No deficiencies noted.

Plumbing

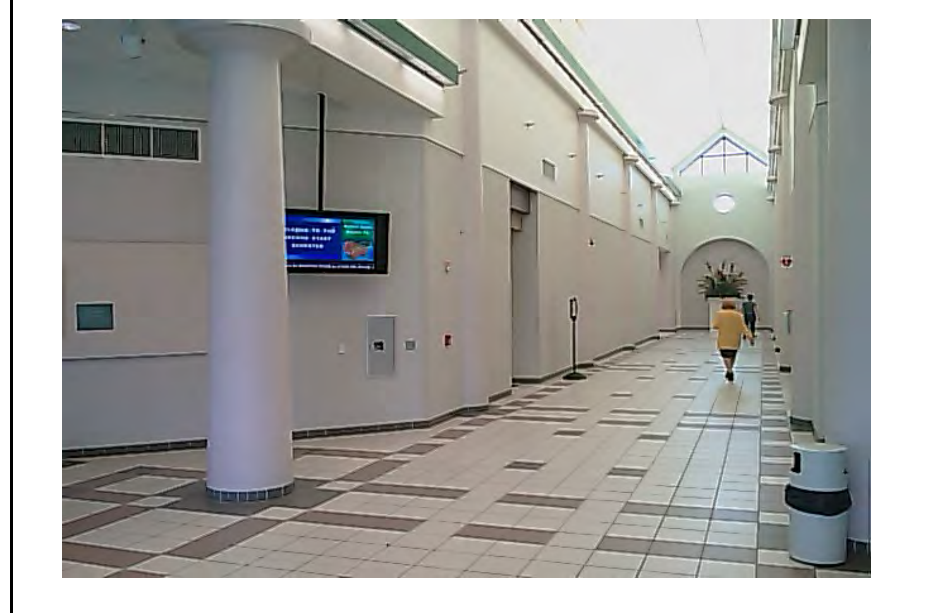
Restrooms meet ADA compliance.

Life Safety - ADA - Hazmat

Fire Alarm strobes were needed in (3) three rooms (W105, Conf. A, & S107).

Photographs

Date:	11-May-09	Date:	11-May-09
Description:	Northeast corner of Scarcella Science and Tech. Building	Description:	Entry lobby looking south in corridor



Location Map



College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	9910 Cash Rd., 77477	?	0	1	57,230	\$2,833,000	\$8,785,000	32.25%

Sitework / Landscape

Need to re-stripe existing cross-walk. Need to update existing signage along roadway. Need to replace dead Redbud in front planting plant, along with weeding entire bed. Need to place irrigation heads on 12" risers in front bed for adequate coverage. No other on-site irrigation besides front entry bed. Need to provide fencing along backside of property to create a secure campus. Need to screen adjacent industrial building (noise). Need to update existing site furnishings with College standard.
 Sitework: The parking lot striping needs to be repainted. Curb stops are missing throughout. Several locations in the parking lots hold water during hard rains. The storm inlets need to have the debris removed from the system. Overall Rating: 3.5

Building Description

The Stafford Campus 'building' is comprised of 7 buildings. The facility has undergone little or no renovation within the last 10-15 years. After assessing the condition of buildings "A" and "B" we recommend the following corrections / improvements: Remove/replace ceiling tiles and grid in classrooms. Paint all walls in classrooms; repair gypsum board walls as needed. Remove and replace Carpet in offices. Remove and replace VCT Floor tiles in classrooms and corridors. Redesign Men's and Women's restrooms to be compliant with TAS/ADA codes. T- Buildings C, D, E, F and G were not accessible upon inspection due to structural and life-safety issues. These temporary buildings are being demolished in October and the function of spaces will be relocated to a building to be determined by HCC.

Mechanical

The equipment in this facility is over 20 years old and needs to be replaced. Including five exterior AHU's; all but two of the Condenser Units;

Electrical

Electrical switchgear needs upgrades. No emergency power. Exterior electrical service entrance needs to be upgraded.

Plumbing

Restrooms need upgrades for ADA compliance. Replace 1/2 HP circulating pump.

Life Safety - ADA - Hazmat

No deficiencies noted.

Photographs

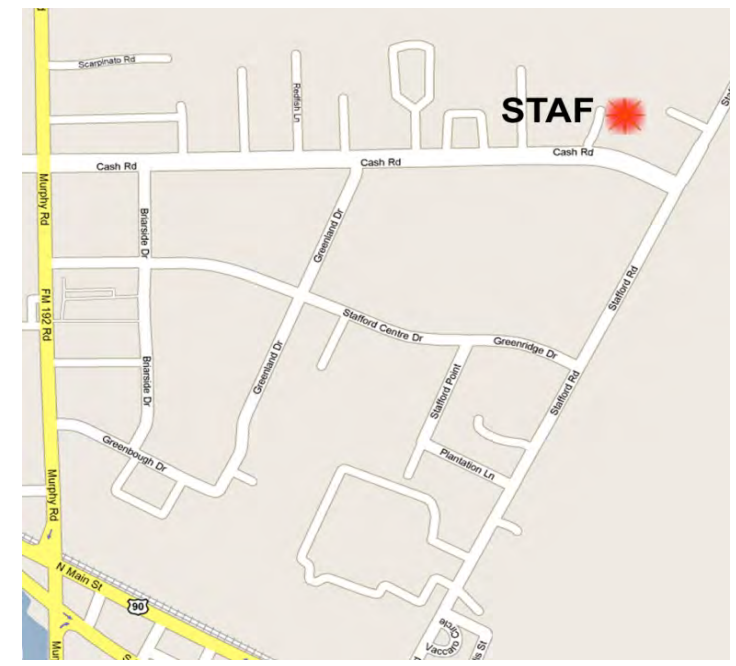
Date: 20-May-09
 Description: Looking North @ Building A & B



Date: 20-May-09
 Description: Looking North @ (4) Temp. Bldgs



Location Map



College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	STF3	Scarcella Center	SW Stafford Learning Hub	10141 Cash Road, 77477	2008	0	3	120,000	\$49,000	\$21,964,000	0.22%

Sitework / Landscape
 Sitework: Parking lot on Southside needs restriping. Manholes along Westside have infiltration, debris, and settling of soil around outside. Storm inlets need to be lowered and stabilized. Cleanouts need to be lowered and need new covers. General rating 3

Building Description
 The Stafford Southwest Learning Hub building is a new three-story building recently constructed and still under warranty at the time of inspections.

Mechanical
 No deficiencies noted.

Electrical
 No deficiencies noted.

Plumbing
 No deficiencies noted.

Life Safety - ADA - Hazmat
 No deficiencies noted.

Photographs		Location Map	
Date: 11-May-09	Date: 11-May-09		
Description: Entry at SW Stafford Learning HUB	Description: Interior at lobby/main entrance		

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	WLOP	West Loop Center	West Loop Center Bldg.	5601 West Loop South, 77081	1990	0	2	199,451	\$4,791,000	\$32,118,000	14.92%

Sitework / Landscape

Need to provide screening of maintenance area. Perimeter hedge row in good condition, need to fill in areas where applicable. Groundcover and turf on south side needs to be removed and replaced. Need to ensure that all existing site furnishings are matched and College standard. Sitework: Several birdbaths were located throughout the parking lot. Sanitary sewer manhole is in need of repair. Most of the inlets hold water. Broken curb throughout. Overall Rating: 4

Building Description

The West Loop Center building is located at 5601 West Loop South and was originally constructed as a large electronics retail center in 1990. HCC acquired the property in 1998 and renovations were started and completed in 1999. Approximately 60,000 sq. ft. of the 200,000 total sq. ft. building was extensively renovated so most of the non-structural components are only 10 years old. Remove/replace drop ceiling tiles and grid where needed throughout the building. Repair cracked concrete floors throughout the entire building. Overall, The West Loop Center Building is in good condition.

Mechanical

AHU's and exhaust fans should be replaced within five years.

Electrical

Electrical switchgear should be upgraded.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

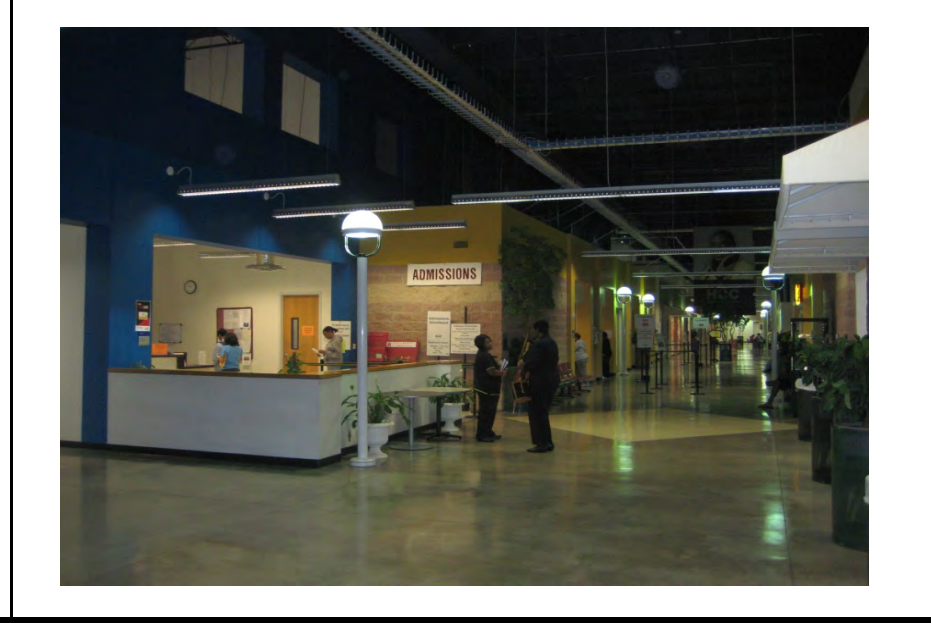
No deficiencies noted.

Photographs

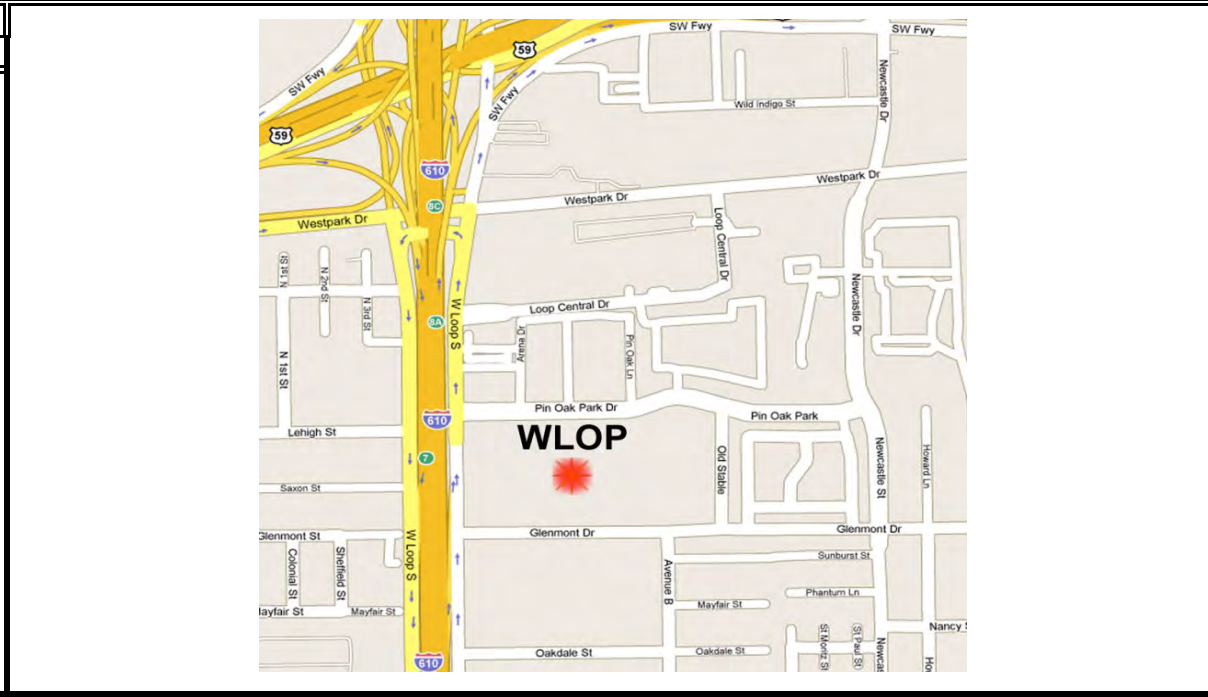
Date: _____
Description: Exterior at main entry



Date: _____
Description: Interior at lobby/entrance



Location Map





HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	600
Building Code	WLOP
Building Name	West Loop Center Bldg.

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
25000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ 34,000.00	\$ 16,000.00	\$ -	\$ 50,000.00	\$ 2.56	\$ 64,000.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
2000	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ 13,700.00	\$ 6,120.00	\$ -	\$ 19,820.00	\$ 12.29	\$ 24,580.00
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 47,700.00	\$ 22,120.00	\$ -	\$ 69,820.00		\$ 88,580.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	1900 Pressler Dr, 77030	1999	0	5	140,000	\$623,000	\$36,527,000	1.71%

Sitework / Landscape

Need to re-stake existing Live Oak along Preston. Need to remove rock on east side and fill in Asian Jasmine. Need to weed Asian Jasmine bed. Need to update existing "no smoking" signs. Need to replace broken tiles adjacent to front entry. Need to repair existing irrigation heads located in large Asian Jasmine bed, refer to irrigation field report for assessment and locations.
 Sitework: The storm sewer inlets need to have the inverts built and some concrete debris broken out of the bottom. Overall Rating: 3.

Building Description

The Coleman Health and Science Center is a five-story building about ten years old. The exterior of the building is made of pre-finished metal panels, concrete panels and curtainwall and is in good condition. The interiors are in good condition. One pane of window glazing in roof clerestory at the grand staircase needs replacing. Tectum ceiling panel in entry lobby has large water stain. The built-up roofing material has small areas of blistering and water ponding and needs repairing.

Mechanical

Two Coolaire roof exhaust units over the atrium were not working. Investigate for repair or replacement. Oxygen tank in first floor oxygen room has no blowout panel, one needs to be added.

Electrical

Lightning protection on the roof has been disconnected in some locations. System needs to be repaired and recertified. Many classrooms have electrical floor plugs, they are not working and need to be replaced.

Plumbing

No deficiencies noted.

Life Safety - ADA - Hazmat

No deficiencies noted.

Photographs		Location Map	
Date: 11-Jun-09	Date: 11-Jul-09		
Description: Southeast elevation of building	Description: Curtain wall at study area		



HCC Facilities Assessment
Cost Estimates by Deficiencies - Architectural Items



College Code	700
Building Code	CHSC
Building Name	Coleman Health Science Ctr.

Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
20	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ 2,080.00	\$ 1,630.00	\$ 400.00	\$ 4,110.00	\$ 281.00	\$ 5,620.00
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$ 3.76	\$ -	\$ -	\$ -	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$ -	\$ -	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ -	\$ 108.00	\$ -	\$ 108.00	\$ -	\$ -	\$ -	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ -	\$ -	\$ -	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ -	\$ -	\$ -	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$ -	\$ 2.00	\$ -	\$ -	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ -	\$ -	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$ -	\$ 71.50	\$ -	\$ -	\$ -	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$ -	\$ 3.33	\$ -	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$ -	\$ 0.47	\$ -	\$ -	\$ -	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$ 0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$ -	\$ 52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$ -	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$ -	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$ -	\$ 1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$ -	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$ -	\$ 250.00	\$ -	\$ -	\$ -	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$ -	\$ 2.90	\$ -	\$ -	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$ -	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$ -	\$ 14.27	\$ -	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$ -	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$ -	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$ -	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total								\$ 2,080.00	\$ 1,630.00	\$ 400.00	\$ 4,110.00		\$ 5,620.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data